



West Fargo Planning and Zoning Meeting
West Fargo City Hall Commission Chambers
800 4th Ave E, West Fargo, 58078
Tuesday, August 9, 2022 5:30 PM

1. Call to Order
2. Approval of Minutes – July 12, 2022
3. Site Plan Review in the CO-I: Interstate Corridor Overlay Site Plan and Building Plan Review for a Medical Facility/Eye Care Clinic at 354 23rd Avenue E – Lot 2, Block 1 North Pond at the Preserve 15th Addition, City of West Fargo North Dakota.
4. Non-Agenda Items
5. Adjourn



*Aaron Nelson, Director of Planning and Zoning
Lisa Sankey, Planner
Malachi Petersen, Planner
Chanda Erickson, Office Manager*

West Fargo Planning & Zoning Commission
Tuesday, July 12, 2022 at 5:30pm
West Fargo City Hall

Members Present: Joe Kolb, David Gust, Mike Thorstad, Aleyna Leibfried

Members Absent: Eric Dodds, Lana Rakow, Brady Woodard

Others Present: Aaron Nelson, Lisa Sankey, John Shockley, Chanda Erickson, Malachi Petersen, Jerry Wallace

Minutes Submitted by: Chanda Erickson, Office Manager

Meeting was called to order by Chair Kolb at 5:30pm.

Commissioner Leibfried moved and Commissioner Thorstad seconded to approve the June 14, 2022 meeting minutes as printed and mailed. No opposition, Motion carried.

Commissioner Kolb opened a Public Hearing - A22-14 Conditional Use Permit for accessory building at 522 45th Ave W (Lot 4, Block 3 of Nelson Acres), City of West Fargo, North Dakota – Narum. There was no public comment. The Public Hearing was closed. After continued discussion, Commissioner Thorstad moved and Commissioner Leibfried seconded to approve the application with the conditions listed in the staff report. No opposition. Motion carried.

Site Plan Review in the CO-I: Interstate Corridor Overlay District located at 455 Christianson Drive West (Lot 6, Block 1 of Christianson 1st Addition), City of West Fargo, North Dakota – Magnum Electric. After discussion, Commissioner Leibfried moved and Commissioner Thorstad seconded to approve the application with the conditions listed in the staff report. No opposition. Motion carried.

Site Plan Review in the CO: Corridor Overlay Plan Review at 779 32nd Ave W (Lot 4, Block 1 of Eagle Run Plaza 12th Addition), City of West Fargo North Dakota. After discussion, Commissioner Gust moved and Commissioner Thorstad seconded to approve the application with the conditions listed in the staff report. No opposition. Motion carried.

PlaceMakers Discussion – Aaron Nelson

There were no non agenda items.

Commissioner Leibfried and Commissioner Thorstad seconded to adjourn. No opposition. Meeting adjourned.

FACT SHEET
WEST FARGO PLANNING AND ZONING COMMISSION
August 9, 2022

BACKGROUND:

PURPOSE: Interstate Corridor Overlay Site Plan and Building Plan Review at 354 23rd Avenue E – Lot 2, Block 1 North Pond at the Preserve 15th Addition

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Medical Facility/Eye Care Clinic

EXISTING ZONING: C: Light Commercial & CO-I: Interstate Corridor Overlay District

PARCEL SIZE: 95,219 Square Feet (2.19 Acres)

This property is located within the CO-I: Interstate Corridor Overlay District which requires that all development shall be subject to site and building plan review and approval by the Planning and Zoning Commission and City Commission. A higher construction standard is required in CO-I: Interstate Corridor Overlay District. Any exposed metal or fiberglass on all buildings shall be limited to no more than thirty (30) percent of any wall which fronts on a public street, provided that it is coordinated into the architectural design.

The site plan shows a two-store, 40,000 square foot building, with 22,840 square feet on the first floor for exam and treatment space for a vision clinic and 17,278 square feet on the second floor for a breakroom, conference area, office and future (shell) space for additional office support space for existing staff on the first floor. The structure will be connected to the existing Specialty Surgery Center to the west, which is currently under construction.

The site plan shows 134 parking stalls which falls short by 67 spaces of the required parking of 201 parking spaces. Parking for medical facilities is one space per 200 square feet of gross floor area, so the applicant would either need to provide for the 201 parking spaces on site, arrange for additional parking on an adjacent lot or petition the City Commission to approve a reduction in parking

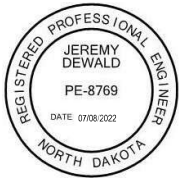
Under Section 4-451 of the Off-Street Parking and Loading Regulations:

If it can be demonstrated by the property owner through market studies or other means that the required off-street parking is excessive and/or a lower parking demand is supported by the Institute of Traffic Engineers Parking Generation manual and a lesser requirement justifiable, the City Commission may reduce the number of required spaces by passage of a resolution approved by a majority of the members of the City Commission

The parking lot contains landscaped islands, landscaping around the perimeter, and is setback adequately per the CO-I: Interstate Corridor Overlay District. The landscaping appears to exceed the number of plant units. The submitted elevations shows a trash enclosure on the west side of the building which would not be visible from the Interstate or other public streets and will need to have adequate architectural screening.

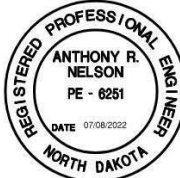
Setbacks for the buildings appear more than adequate for the CO-I: Interstate Corridor Overlay District.

With the exception of the parking and loading requirements, the submitted information shows that City plans and development requirements can be met. Staff's recommendation is to approve the site and elevation plans for submittal to the City Commission with the condition that all provisions of West Fargo City Ordinances are met to ensure sufficient review is provided for building inspections and other City departments.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Landscape Architect under the laws of the State of North Dakota.

Date: _____ Reg. No.: _____



VANCE THOMPSON VISION
354 23rd Ave East
West Fargo, ND 58078



HGA

420 NORTH 5TH STREET, SUITE 100
MINNEAPOLIS, MINNESOTA 55401
TELEPHONE: 612.758.4000

KEY PLAN:



HGA COMMISSION NUMBER: 4871-001-00

07/08/2022

MAP: 354 23RD AVE EAST, WEST FARGO, ND 58078



NOTE: RENDERING NOT FOR CONSTRUCTION USE

CONSTRUCTION DOCUMENTS

PROJECT INFORMATION

PROJECT NAME: ENCLAVE COMPANIES-VANCE THOMPSON VISION NEW EYE CLINIC	
PROJECT DESCRIPTION: PROPOSED NEW (2) STORY BUILDING, OUTPATIENT CLINIC, B-OCCUPANCY / TYPE II-B.	
OCCUPANCY:	MIXED OCCUPANCY:
PROPOSED USE: OUTPATIENT CLINIC - MEDICAL OFFICE BUILDING	SEISMIC ZONE: 0
PROJECT ADDRESS: VANCE THOMPSON VISION - ENCLAVE 354 23RD AVE EAST WEST FARGO, ND 58078	
REQUIRED FIRE SEPARATION: 2 HOUR FIRE WALL AT EXISTING ADJACENT BLDG	TYPE OF CONSTRUCTION: II-B
HEIGHT OF NEW BUILDING: 40'-0"	NEW STORIES: 2
PROJECT FLOOR AREA: 40,085 SF	

CONTACT INFORMATION

OWNER:	ENCLAVE TIM GLEASON	(701) 478-4300 timg@enclavecompanies.com
ARCHITECT:	HAMMEL, GREEN AND ABRAHAMSON DAN GROTHE	(612) 758-4280 DGrothe@hga.com
CIVIL:	KLJ ENGINEERING JEREMY DEWALD	(701) 271-5039 jeremy.dewald@kljeng.com
ELECTRICAL:	CMTA TONY NELSON	(701) 280-0500 tony.nelson@cmta.com
INTERIORS:	HAMMEL, GREEN AND ABRAHAMSON JULIE ENDRES	(612) 758-4428 JEndres@hga.com
LANDSCAPE:	HAMMEL, GREEN AND ABRAHAMSON TRYG HANSEN	(612) 758-4523 THansen@hga.com
MECHANICAL:	CMTA ERIC JOHNSON	(701) 365-0681 eric.johnson@cmta.com
STRUCTURAL:	SANDMAN STRUCTURAL ENG NATHAN HARIWELL	(218) 284-3054 nathan.hariwell@sandmanse.com

DEFERRED SUBMITTALS

SPEC SECTION NUMBER	ITEM
054000	COLD FORMED METAL FRAMING
055100	METAL STAIRS
078400	FIRESTOPPING
078443	FIRE-RESISTANT JOINT SYSTEMS
211313	WET-PIPE SPRINKLER SYSTEM
283111	DIGITAL, ADDRESSABLE FIRE ALARM SYSTEM

DRAWING INDEX - CIVIL

REV #	NUMBER	SHEET NAME
	C100	EXISTING CONDITIONS & REMOVALS
	C200	SITE LAYOUT
	C300	UTILITY LAYOUT
	C400	GRADING LAYOUT
	C500	STORMWATER POLLUTION PREVENTION PLAN
	C600	DETAILS
	C601	DETAILS
	C602	DETAILS
	C603	DETAILS
	C604	DETAILS
Grand total: 10		

DRAWING INDEX - LANDSCAPE

REV #	NUMBER	SHEET NAME
	L100	LANDSCAPE REFERENCE PLAN
	L101	ENLARGED LANDSCAPE PLAN
	L420	PLANTING DETAILS
Grand total: 3		

DRAWING INDEX - ARCH

REV #	NUMBER	SHEET NAME
1-GENERAL		
	G000	COVERSHEET
	G031	LIFE SAFETY PLAN LEVEL 01
	G032	LIFE SAFETY PLAN LEVEL 02
	G039	LIFE SAFETY - CODE SUMMARY
4-ARCHITECTURAL		
	A010	GENERAL NOTES AND SYMBOLS
	A011	MATERIAL IDENTIFICATION CODES
	A020	ARCHITECTURAL SITE PLANS AND DETAILS
	A101	OVERALL DEMOLITION PLAN - LEVEL 01
	A201	OVERALL FLOOR PLAN - LEVEL 01
	A202	OVERALL FLOOR PLAN - LEVEL 02
	A203	OVERALL FLOOR PLAN - ROOF
	A261	FINISH PLAN - LEVEL 01
	A262	FINISH PLAN - LEVEL 02
	A301	OVERALL REFLECTED CEILING PLAN - LEVEL 01
	A302	OVERALL REFLECTED CEILING PLAN - LEVEL 02
	A400	EXTERIOR ELEVATIONS
	A401	EXTERIOR ELEVATIONS
	A410	BUILDING SECTIONS
	A420	WALL SECTIONS
	A421	WALL SECTIONS
	A460	EXTERIOR WALL TYPES
	A461	EXTERIOR MASONRY NOTES AND DETAILS
	A462	EXTERIOR PLAN DETAILS
	A463	EXTERIOR PLAN AND SECTION DETAILS
	A464	EXTERIOR PLAN AND SECTION DETAILS
	A470	CANOPY PLAN & SECTION DETAILS
	A480	SINGLE PLY ROOF DETAILS
	A490	EXTERIOR WINDOW AND STOREFRONT TYPES
	A491	EXTERIOR WINDOW AND STOREFRONT TYPES
	A500	PUBLIC STAIR AND ELEVATOR PLANS & SECTIONS
	A510	STAFF STAIR AND ELEVATOR PLANS & SECTIONS
	A580	TYPICAL STAIR DETAIL - CHANNEL WITH HORIZ. RAIL
	A581	ADDITIONAL STAIR DETAILS
	A590	ELEVATOR AND ESCALATOR DETAILS
	A600	TYPICAL MOUNTING HEIGHTS
	A620	INTERIOR ELEVATIONS & ENLARGED PLANS
	A621	INTERIOR ELEVATIONS
	A622	INTERIOR ELEVATIONS
	A660	TYPICAL INTERIOR PARTITION TYPES
	A661	TYPICAL PARTITION DETAILS
	A662	INTERIOR METAL STUD FRAMING DETAILS
	A663	TYPICAL PARTITION DETAILS
	A670	CEILING DETAILS
	A680	TYPICAL CASEWORK DETAILS AND GENERAL NOTES
	A681	CASEWORK DETAILS
	A690	FINISH DETAILS
	A700	DOOR SCHEDULE - LEVEL 01 & 02
	A701	PANEL AND FRAME TYPES
	A710	OPENING DETAILS
Grand total: 49		

DRAWING INDEX - STRUCT

REV #	NUMBER	SHEET NAME
	S001	STRUCTURAL NOTES
	S002	SPECIAL INSPECTIONS
	S101	FOUNDATION PLAN
	S201	SECOND FLOOR FRAMING PLAN
	S202	SECOND FLOOR SLAB PLAN
	S203	ROOF FRAMING PLAN
	S204	ROOF DECK PLAN
	S301	FOUNDATION DETAILS
	S302	FOUNDATION DETAILS
	S401	FRAMING DETAILS
	S402	FRAMING DETAILS
	S403	FRAMING DETAILS
	S404	FRAMING DETAILS
	S405	FRAMING DETAILS
	S406	BRACED FRAMES
	S407	ELEVATIONS
Grand total: 16		

DRAWING INDEX - MECH

REV #	NUMBER	SHEET NAME
	M000	MECHANICAL TITLE SHEET
	M101	FIRST FLOOR PLAN - FIRE PROTECTION
	M102	SECOND FLOOR PLAN - FIRE PROTECTION
	M200	FOUNDATION - PLUMBING
	M201	FIRST FLOOR PLAN - PLUMBING
	M202	SECOND FLOOR PLAN - PLUMBING
	M300	FOUNDATION - MECHANICAL PIPING
	M301	FIRST FLOOR PLAN - MECHANICAL PIPING
	M302	SECOND FLOOR PLAN - MECHANICAL PIPING
	M401	FIRST FLOOR PLAN - HVAC
	M402	SECOND FLOOR PLAN - HVAC
	M500	ROOF PLAN - MECHANICAL
	M501	MECHANICAL RISERS & LARGE SCALE PLANS
	M502	MECHANICAL SCHEMATICS
	M600	MECHANICAL CONTROLS
	M601	MECHANICAL CONTROLS
	M700	MECHANICAL DETAILS
	M701	MECHANICAL DETAILS
	M702	MECHANICAL DETAILS
	M800	MECHANICAL SCHEDULES
	M801	MECHANICAL SCHEDULES
Grand total: 21		

DRAWING INDEX - ELEC

REV #	NUMBER	SHEET NAME
	E000	ELECTRICAL TITLE SHEET
	E101	ELECTRICAL SITE PLAN
	E201	FIRST FLOOR PLAN - LIGHTING
	E202	SECOND FLOOR PLAN - LIGHTING
	E301	FIRST FLOOR PLAN - POWER
	E302	SECOND FLOOR PLAN - POWER
	E303	ROOF PLAN - ELECTRICAL
	E401	FIRST FLOOR PLAN - TELECOM
	E402	SECOND FLOOR PLAN - TELECOM
	E501	FIRST FLOOR PLAN - ELECTRONIC SAFETY & SECURITY
	E502	SECOND FLOOR PLAN - ELECTRONIC SAFETY & SECURITY
	E600	LIGHTING DETAILS & SCHEDULES
	E601	POWER DETAILS
	E602	POWER DETAILS
	E603	SYSTEMS DETAILS
	E700	POWER SCHEDULES
Grand total: 16		

G000

GENERAL NOTES - EXTERIOR ELEVATIONS

A. ELEVATIONS OF EXISTING FLOORS ARE BASED ON SURVEY INFORMATION AND/OR AS-BUILT DRAWINGS PROVIDED BY THE OWNER. THE SURVEY DATA MAY NOT BE COMPLETE AND THE ACTUAL EXISTING ELEVATIONS MAY VARY IN DIFFERENT PORTIONS OF THE EXISTING BUILDING. ALL INFORMATION MUST BE FIELD VERIFIED AND COORDINATED BETWEEN NEW AND EXISTING CONSTRUCTION TO PROVIDE MATCHING FLOOR ELEVATIONS WHERE REQUIRED.

HGA

420 North 5th Street, Suite 100
Minneapolis, Minnesota 55401
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MECHANICAL/ELECTRICAL/
PLUMBING ENGINEER

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701.280.0500

Vance Thompson Vision
354 23rd Ave East
Fargo, ND 58078

GOLDMARK
2000 44th St S
Suite 102
Fargo, ND 58103



NO	DESCRIPTION	DATE

ISSUANCE HISTORY - THIS SHEET

HGA NO: 4871-001-00

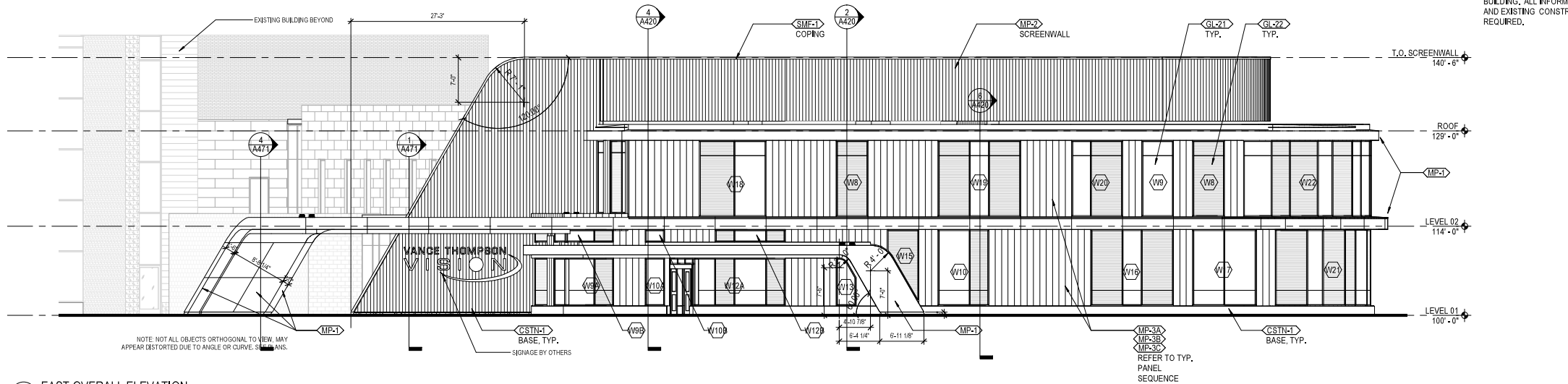
EXTERIOR
ELEVATIONS

DATE: JULY 08, 2022

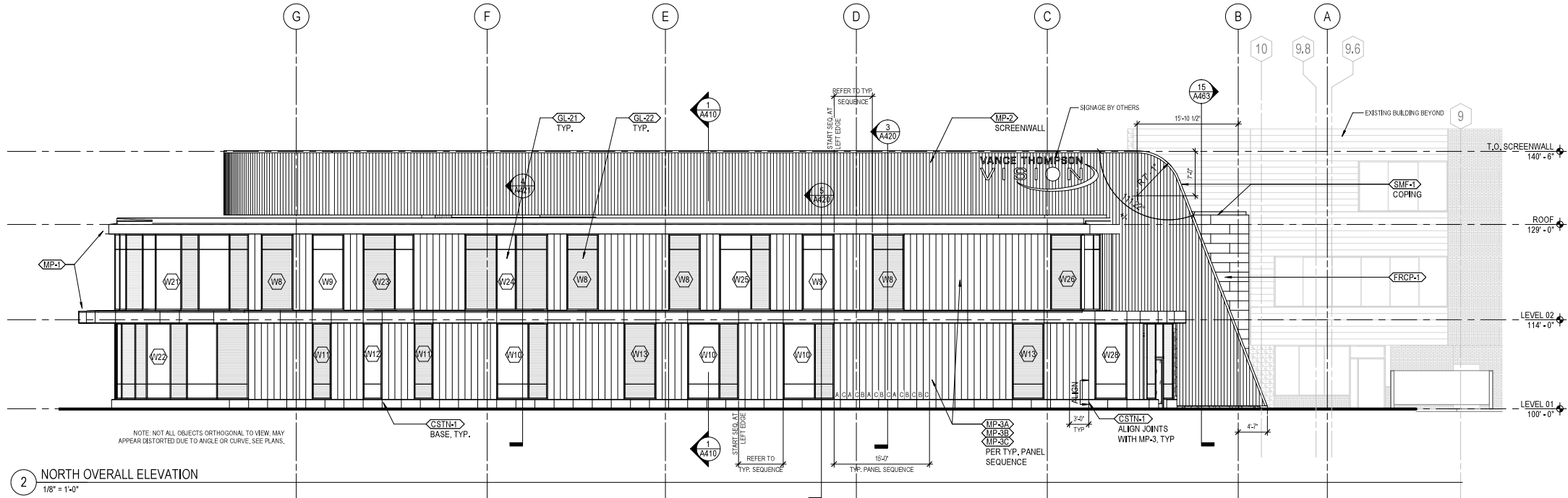
CONSTRUCTION DOCUMENTS

A400

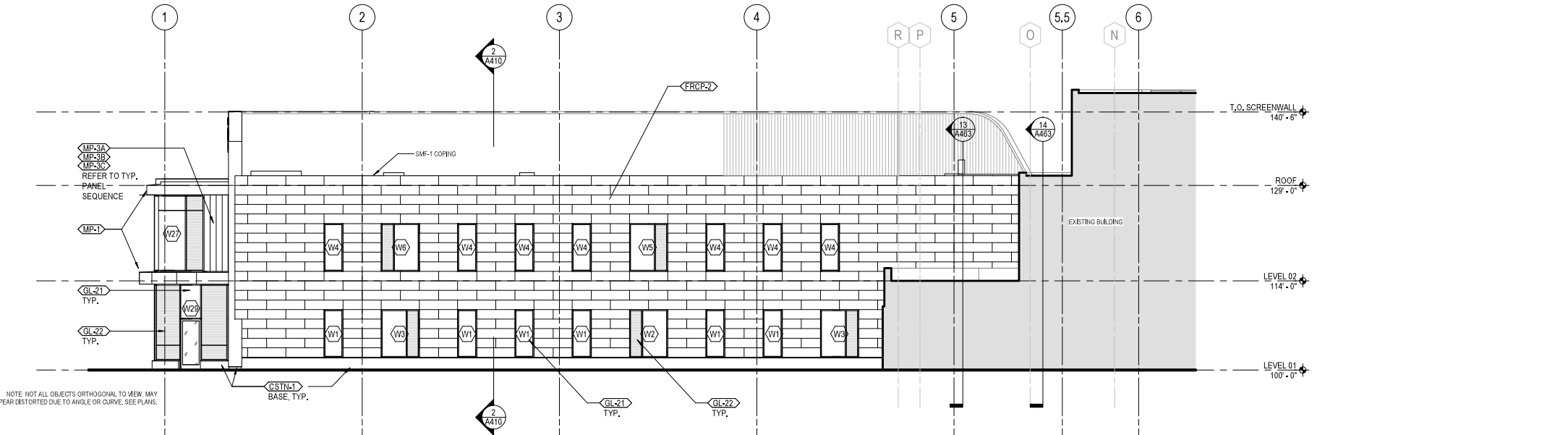
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1 EAST OVERALL ELEVATION
1/8" = 1'-0"



2 NORTH OVERALL ELEVATION
1/8" = 1'-0"



3 WEST OVERALL ELEVATION
1/8" = 1'-0"

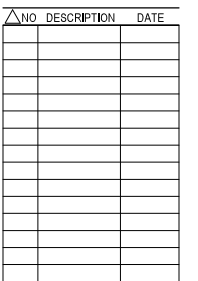
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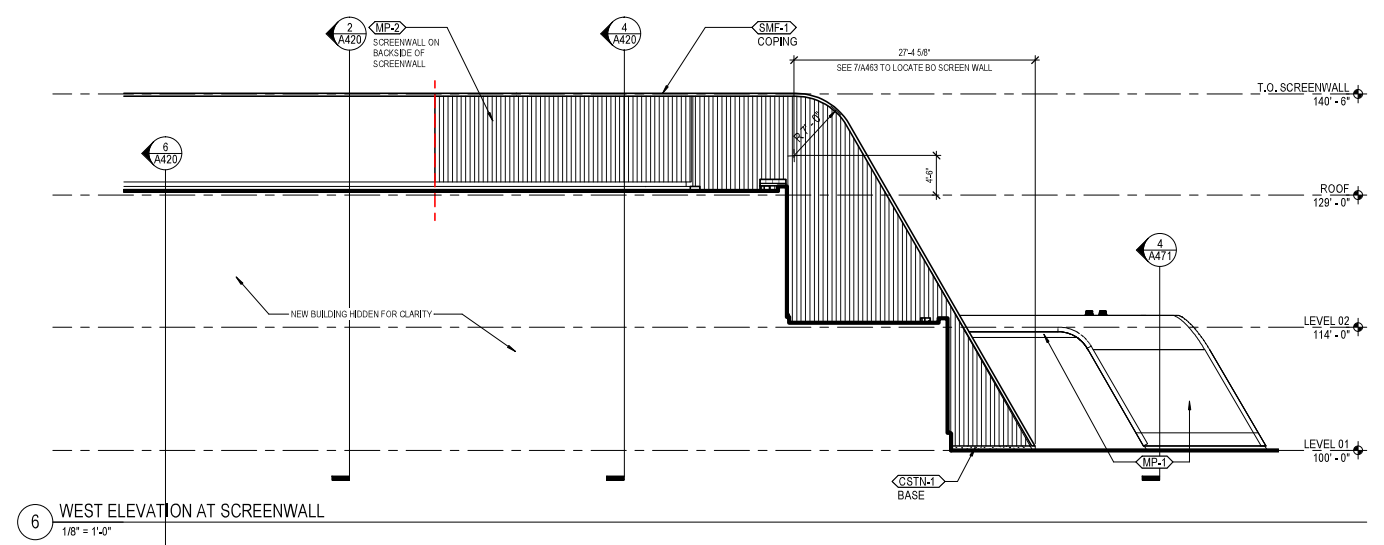
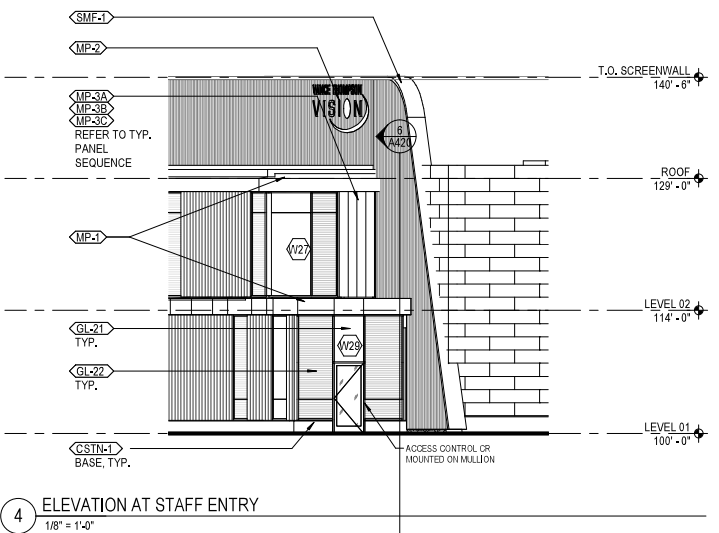
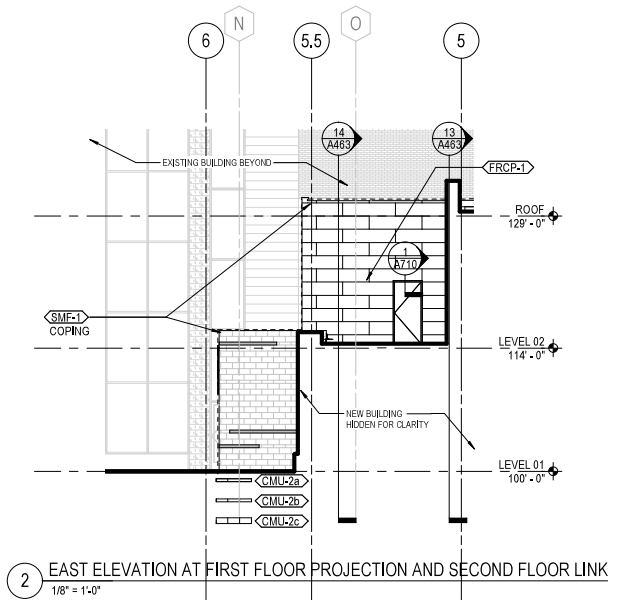
GOLDMARK
2000 44th St S
Suite 102
 Fargo, ND 58103

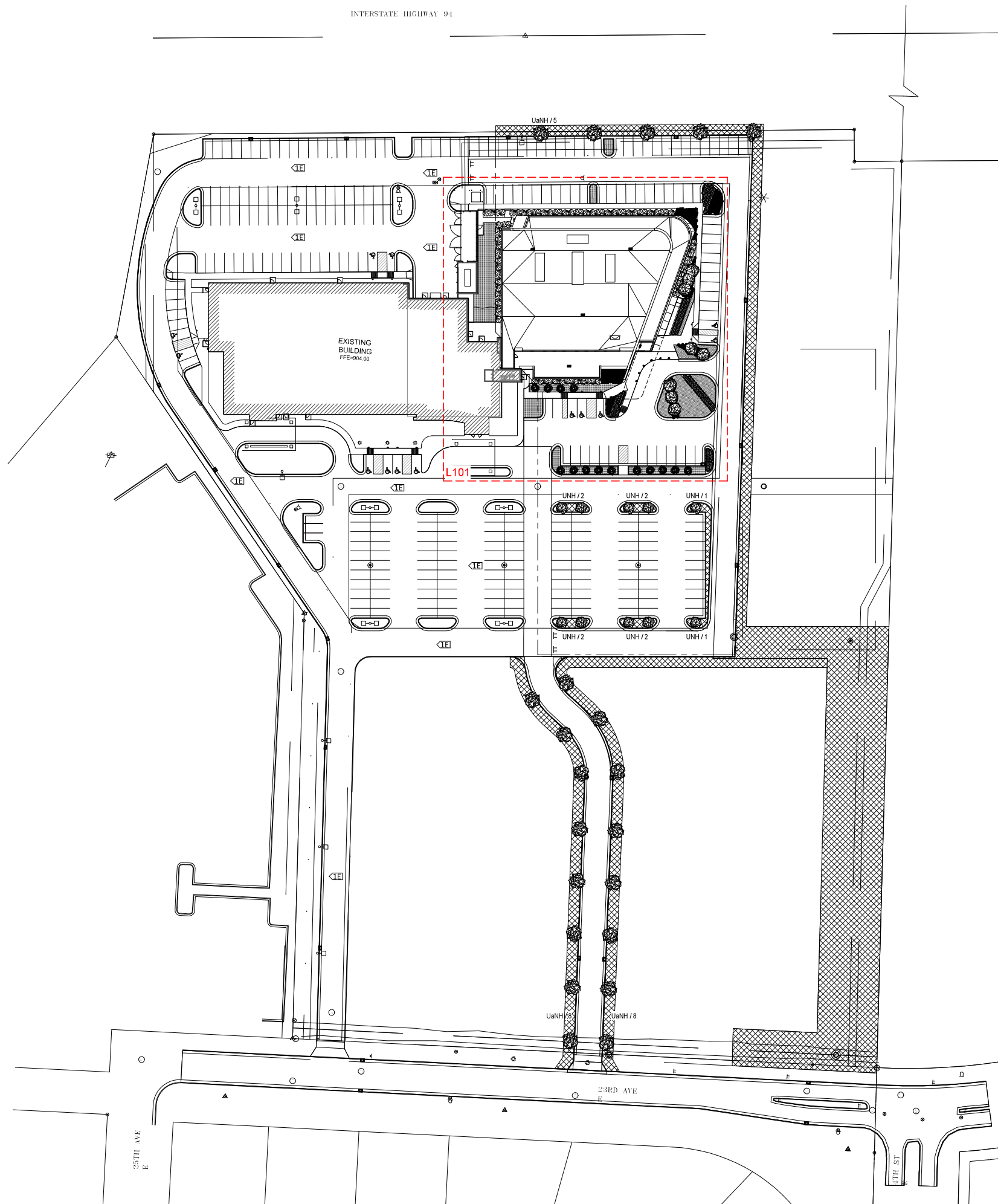


EXTERIOR ELEVATIONS

CONSTRUCTION DOCUMENTS

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1. UTILIZE "CALL 811" UTILITY LOCATION PRIOR TO ALL EXCAVATION ACTIVITY.
2. REFER TO L101 & C/M DRAWINGS FOR ADDITIONAL SITE INFORMATION.
3. CONTRACTOR TO OBTAIN DIGITAL DRAWING FILE FOR LAYOUT AND LOCATION VERIFICATION
4. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL QUANTITIES.

LOT AREA:
DISTURBED AREA: 151,570 SF
PLANT UNITS REQUIRED: $(151,570 \text{ SF} / 1000) \times 4 = 607 \text{ PLANT UNITS}$
PLANT UNITS PROVIDED:
SMALL DECIDUOUS TREES: 22 EA X 7 PLANT UNITS PER TREE = 154 PLANT UNITS
LARGE DECIDUOUS TREES: 31 EA X 10 PLANT UNITS PER TREE = 310 PLANT UNITS
SHRUBS: 80 EA X 5 PLANT UNITS PER TREE = 400 PLANT UNITS
TOTAL: 864 PLANT UNITS

 LAWN SOD
REFER TO SPEC. 329200

 LAWN - SEED MIX
REFER TO SPEC. 329200

 EDGING
REFER TO SPEC. 321540

KEYNOTES	
#	Description
1	Vehicular Paving; Refer to Civil
1E	Existing Vehicular Paving
2	Pedestrian Paving; Refer to Civil
2E	Existing Pedestrian Paving; Refer to Civil
3	Lighted Pedestrian Bollard; Sentinel by Landscape Forms, Milner w/Light Top, Embedded Mounting, Color to be selected by Architect, install per manufacturers instructions
4	Electric Car Charging Station; Refer to Civil and Electrical

ID	QTY	Common Name	Latin Name	Size	Notes
BpF	14	Dakota Pinnate Birch	<i>Betula papyrifera</i> 'Fargo'	2.5' B&B	
Cs	124	Fall Blooming Feather Reed Grass	<i>Calamagrostis brachytricha</i>	#1 Cont.	
Cb	80	Arctic Fire® Redwing dogwood	<i>Cornus stolonifera</i> 'Farrow' PP #18,523	#5 Cont.	
MG	8	Gladiator Crabapple	<i>Malus 'Gladiator'</i>	2' B&B	
Sh	374	Prairie Dropseed	<i>Sporobolus heterolepis</i>	#1 Cont.	
UaNH	21	New Harmony American Elm	<i>Ulmus americana</i> 'New Harmony'	2.5' B&B	
UNH	10	New Horizon Elm	<i>Ulmus 'New Horizon'</i>	2.5' B&B	

GOLDMARK
2000 44th St S
Suite 102
Fargo, ND 58103

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2-3" THICK LAYER OF MULCH.

FINISHED GRADE.

PLANTING SOIL.
REFER TO SPEC. 329000

EXISTING SOIL.

PLAN

GROUND COVER PLANTS TO BE
TRIANGULARLY SPACED
MULCH

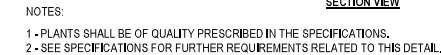
PAVEMENT

15'

NOTES:

1. SEE PLANT MATERIALS SCHEDULE FOR GROUND COVER SPECIES, SIZE AND SPACING.
2. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING, ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.

1 PEREN
1/4" = 1'-0"



4 SHRUB
1/2" = 1'-0"

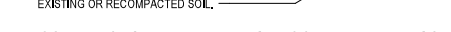


CROWN ALL ISI



8 TREE F
1/2" = 1'-0"

2 CONIFER
1/2" = 1'-0"



5 CONIFER
1/2" = 1'-0"

9 CONFIDENTIAL
1/2" = 1'-0"

EXISTING OR RECOMPACTED SOIL

3 DECIDUOUS TREE PLANTING ON SLOPE - SECTION
1/2" = 1'-0"



6 DECIDU
1/2" = 1'-0"

10 DECIDU
1/2" = 1'-0"

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KEYPLANISSUANCE HISTORY - THIS SHEET

HGA NO: 4871-001-00

DETAILS

DATE: JULY 08, 2022

CONSTRUCTION DOCUMENTS

L420

CIVIL ENGINEER

300 23RD AVENUE EAST
SUITE 100
WEST FARGO, ND 58078
701.232.5353

STRUCTURAL ENGINEER

SANDMAN STRUCTURAL
ENGINEER
87 30TH AVENUE SOUTH
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MECHANICAL/ELECTRICAL
PLUMBING ENGINEER

CMTA
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Vance Thompson Vision
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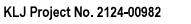
GOLDMARK
2000 44th St S
Suite 102
Fargo, ND 58103

Author 7/8/2022 9:42:16 AM

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CMTA
2201 12TH STREET NORTH
SUITE E
FARGO ND, 58102
701.280.0500



GOLDMARK
2000 44th St S
Suite 102
Fargo, ND 58103

1. ALL WORK **WITHIN THE CITY RIGHT-OF-WAY** OR EASEMENTS SHALL REQUIRE AN EXCAVATION PERMIT FROM THE CITY OF WEST FARGO PUBLIC WORKS DEPARTMENT.
2. ANY WORK ON **EXISTING CITY-OWNED UTILITIES** SHALL REQUIRE **NOTIFICATION TO THE CITY OF WEST FARGO PUBLIC WORKS DEPARTMENT** BY THE CONTRACTOR 24 HOURS PRIOR TO COMMENCING WORK.
3. THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN 1 ACRE. A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION CONTROL PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY (NDDAQ) A MINIMUM OF 7 DAYS PRIOR TO CONSTRUCTION. THIS NOTICE OF INTENT SHALL BE PROVIDED WITH THE BUILDING PERMIT APPLICATION.
4. THE CITY'S STORM WATER MANAGEMENT PERMIT MUST BE SUBMITTED WITH THE SWPPP.
5. REPLACEMENT OF CURB AND GUTTER AND/OR SIDEWALK WITH THE RIGHT OF WAY SHALL BE DONE WITHIN 5 WORKING DAYS.
6. **DIMENSIONS LISTED ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.**
7. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN FOR APPROVAL.
8. THE CONTRACTOR SHALL FOLLOW THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND GUIDES FOR TRAFFIC CONTROL FOR STREET AND HIGHWAY CONSTRUCTION.
9. THE CONTRACTOR SHALL FOLLOW CITY OF WEST FARGO AND NDDOT STANDARD DRAWINGS WHEN SETTING UP THE TRAFFIC CONTROL DEVICES.
10. SEE SHEET 6803 FOR SITE DETAILS.
11. CONTRACTOR SHALL PROVIDE 10" CURB TRANSITION FROM HIGH BACK CURB & GUTTER - INFLOW TO HIGHBACK CURB & GUTTER - OUTFLOW.

PROPERTY DESCRIPTION: LOT 2, BLOCK 1
NORTH POND AT THE PRESERVE 15TH ADDITION

IMPERVIOUS AREA: 84,579 SF ~ 1.94 ACRES

LOADING SPACE REQUIREMENTS:

10,000 SF SHALL BE PROVIDED WITH AN OFF-STREET LOADING SPACE.
BUILDING AREA = 23,784 SF ~ 1 REQUIRED.

REQUIRED: 0.00 FT (SOUTH)
PROVIDED: 223.52 FT (SOUTH)

REQUIRED:	0.00	FT (EAST & WEST)
PROVIDED:	0.00	FT (EAST)

REAR YARD BUILDING SETBACK:

BM-1
SE BOLT ON HYDRANT AT SW QUADRANT OF 23RD AVE/4TH ST E
ELEV = 903.00

BM-2
SE BOLT ON HYDRANT AT MID WEST PROPERTY LINE
ELEV = 903.67

- 1 4" CONCRETE SIDEWALK
- 2 TYPE 1 ACCESSIBLE RAMP
- 3 TYPE 2 ACCESSIBLE RAMP
- 4 TYPE 3 ACCESSIBLE RAMP
- 5 THICKENED EDGE SIDEWALK
- 6 HIGH BACK CURB & GUTTER - INFLOW
- 7 HIGH BACK CURB & GUTTER - OUTFLOW
- 8 LIGHT DUTY CONCRETE PAVEMENT
- 9 HEAVY DUTY CONCRETE PAVEMENT
- 10 CONCRETE DRIVEWAY - PER CWF DETAIL 10.17.16
- 11 STANDARD ACCESSIBLE PARKING SIGN
- 12 VAN ACCESSIBLE PARKING SIGN
- 13 YELLOW PAVEMENT MARKING
- 14 BLUE PAVEMENT MARKING
- 15 CONCRETE STOOP - SEE STRUCTURAL PLANS
- 16 LIGHTING - SEE ELECTRICAL PLANS
- 17 TRANSFORMER PAD - SEE ELECTRICAL PLANS
- 18 NOSE DOWN CURB
- 19 CURB FLUME THROUGH ISLAND
- 20 SIDEWALK TRENCH & GRATE
- 21 STEP (1 RISER)
- 22 PIPE BOLLARD
- 23 ZERO ENTRY - SEE GRADING PLAN
- 24 LIGHTED BOLLARD - SEE ELECTRICAL AND LANDSCAPING PLANS
- 25 ELECTRIC CAR CHARGING STATION - SEE ELECTRICAL PLANS

[illegible]

HGA NO: 4871-001-00

DATE: JULY 08, 2022

CONSTRUCTION DOCUMENTS

C200