



West Fargo Planning and Zoning Meeting
West Fargo City Hall Commission Chambers
800 4th Ave E, West Fargo, 58078
Tuesday, July 12, 2022 5:30 PM

1. Call to Order
2. Approval of Minutes – June 14, 2022
3. Public Hearing – A22-14 Conditional Use Permit for accessory building at 522 45th Ave W (Lot 4, Block 3 of Nelson Acres), City of West Fargo, North Dakota – Narum
4. Site Plan Review in the CO-I: Interstate Corridor Overlay District located at 455 Christianson Drive West (Lot 6, Block 1 of Christianson 1st Addition), City of West Fargo, North Dakota – Magnum Electric
5. Site Plan Review in the CO: Corridor Overlay Plan Review at 779 32nd Ave W (Lot 4, Block 1 of Eagle Run Plaza 12th Addition), City of West Fargo, North Dakota
6. City of West Fargo Needs Assessment Discussion – Aaron Nelson
7. Non-Agenda Items
8. Adjourn



*Aaron Nelson, Director of Planning and Zoning
Lisa Sankey, Planner
Malachi Petersen, Planner
Chanda Erickson, Office Manager*

West Fargo Planning & Zoning Commission
Tuesday, June 14, 2022 at 5:30pm
West Fargo City Hall

Members Present: Joe Kolb, David Gust, April Walker, Lana Rakow, Eric Dodds, Mike Thorstad, Brady Woodard, Aleya Leibfried

Members Absent:

Others Present: Aaron Nelson, Lisa Sankey, John Shockley, Chanda Erickson, Malachi Petersen

Minutes Submitted by: Chanda Erickson, Office Manager

Meeting was called to order by Chair Kolb at 5:30pm.

Commissioner Rakow moved and Commissioner Dodds seconded to approve the May 10, 2022 meeting minutes as printed and mailed. No opposition, Motion carried.

We would also like to introduce Aleya Leibfried as our new Planning and Zoning Commissioner.

Commissioner Kolb opened a Public Hearing - A22-13 Southdale 5th Addition, a replat of Lot 1, Block 1 of Southdale 4th Addition (250 9 ½ Ave W), City of West Fargo, North Dakota – HACC Redevelopment, City of West Fargo, North Dakota. There was no public comment. The Public Hearing was closed. After continued discussion, Commissioner Dodds moved and Commissioner Gust seconded to approve the application with the conditions listed in the staff report. No opposition. Motion carried.

Site Plan Review in the CO: Corridor Overlay District located at 3255 6th St W & 661 32nd Ave W (Lots 6 & 7, Block 1 of Eagle Run Plaza 9th Addition), City of West Fargo, North Dakota (Proposed Eagle Run Plaza 13th Addition) – Graham, City of West Fargo, North Dakota. After discussion, Commissioner Walker moved and Commissioner Gust seconded to approve the Site Plan. No opposition. Motion carried.

Non agenda items:

We would publically like to thank April Walker for her service on the Planning and Zoning Commission. April's term is expiring July 1, 2022.

Commissioner Gust and Commissioner Dodds seconded to adjourn. No opposition. Meeting adjourned.

STAFF REPORT

A22-14		CONDITIONAL USE PERMIT	
522 45 th Ave W			
Lot 4, Block 3 of Nelson Acres			
Applicant/Owner: Lyn Narum		Staff Contact: Malachi Petersen	
Planning & Zoning Commission Public Hearing:		7/12/22	
City Commission:			

PURPOSE:

Construct a 50' x 80' (4,000 ft²) accessory building for personal storage in an R-R: Rural Residential zoning district.

STATEMENTS OF FACT:

Land Use Classification:	G-2: Sub-Urban – Growth Sector
Existing Land Use:	Single Family Dwelling
Current Zoning District(s):	R-R: Rural Residential District
Zoning Overlay District(s):	NA
Total area size:	4.58 Acres
Adjacent Zoning Districts:	R-R: Rural Residential
Adjacent street(s):	45 th Avenue West (Local), 9 th St W (Connector), 4 th St W (Local)
Adjacent Bike/Pedestrian Facilities:	Located within ¼ mile
Available Parks/Trail Facilities:	Multi-use paths along 9 th St W to the west of the development, north of 47 th Ave W to the south and along 40 th Ave W; Eagle Run Park on the north side of 40 th Ave W, The Wilds Park south of 47 th Ave W

DISCUSSION AND OBSERVATIONS:

- The applicant has provided a site plan which proposes a 50' x 80' (4,000 ft²) accessory structure to be built northwest of his home.
- The R-R zoning district allows for accessory structures greater than 1,600 ft² as a conditional use provided they are in character with the development pattern of the subdivision they are in.
- Oversized accessory buildings have been approved as a CUP within the Nelson Acres subdivisions. In 2004, the City received an application for a 9,600 square foot building which was scrutinized as not being in character with the development. The applicant revised the request to a 4,800 square foot structure which was approved. Other buildings have been held to the same standard. Staff believes that this size precedent should be considered in this instance as well.
- The accessory structure will be constructed with metal panel siding and a metal roof. The applicant has stated that there will be no issues adhering to the construction standards for accessory structures. A conditional use permit agreement is required to be signed prior to issuance of a building permit and may include conditions deemed appropriate by the Commission.

STAFF REPORT

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - The property has adequate access and the improvements will not affect the current access.
2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - No concerns noted
3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - No concerns noted
4. Utilities, with reference of locations, availability, and compatibility.
 - No concerns noted
5. Screening and buffering with reference to type, dimensions, and character.
 - No concerns noted
6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - No concerns noted
7. Required yards and other open space.
 - No concerns noted.
8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - No concerns noted.
9. General compatibility with adjacent properties and other property in the district.
 - The land adjacent to this area is R-R: Rural Residential District and similar style and sized accessory buildings have been previously approved within the subdivision. The proposed use is viewed as generally compatible with adjacent properties and other property in the district. The proposed accessory building would be in character with the purpose of the subdivision. Larger accessory buildings are allowed for rural residential equipment storage, barns for farm animals, etc.

NOTICES:

Sent to:	Property owners within 350'.
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Comments Received:

- None to date.

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The application is providing an accessory structure and use to an existing use, and therefore the application may be considered consistent with the Comprehensive Plan.

STAFF REPORT

RECOMMENDATIONS:

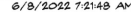
It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. The maximum size of the accessory structure is 4,000 sqft as specified in the site plan received by staff.





			West Fargo Zoning								
 A: Agricultural			 LI: Light Industrial			 R-1SM: Mixed One and Two Family Dwelling					
 C: Light Commercial			 M: Heavy Industrial			 R-2: Limited Multiple Dwelling					
 C-OP: Commercial Office Park			 P: Public			 R-3: Multiple Dwelling					
 DMU: Downtown Mixed Use			 PUD: Planned Unit Development			 R-4: Mobile Home					
 EMU: Entertainment Mixed Use			 R-L1A: Large Lot Single Family Dwelling			 R-5: Manufactured Home Subdivision					
 HC: Heavy Commercial			 R-1A: Single Family Dwelling			 R-1E: Rural Estate					
			 R-1: One and Two Family Dwelling			 R-R: Rural Residential					



SP1.0

FACT SHEET

WEST FARGO CITY COMMISSION

July 12, 2022

BACKGROUND:

PURPOSE: Interstate Corridor Overlay Site and Building Plan Review at 455 Christianson Drive West – Lot 5, Block 1 of Christianson 1st Addition

EXISTING LAND USE: Vacant

EXISTING ZONING: PUD: Planned Unit Development

PARCEL SIZE: 1.09 Acres

This property is located within the CO-I: Interstate Corridor Overlay District which requires under section 4-431-A.4. that all development shall be subject to site and building plan review and approval by the Planning and Zoning Commission and City Commission. A higher construction standard is required in the CO-I: Interstate Corridor Overlay District. Any exposed metal or fiberglass on all buildings shall be limited to no more than thirty (30) percent of any wall which fronts on a public street, provided that it is coordinated into the architectural design.

Elevations of the building show that it will be constructed completely precast concrete, brick and glass which would exceed our standard. The submitted site plan shows a 14,400 square foot shop/warehouse with a mezzanine level for a break room and shop space. A minimum of 25 parking spaces is required for the site with the site plan showing 43 provided, including 11 parking spaces on the north side of the property with additional shared per a private agreement with the Magnum Electric site to the northwest.

Setbacks for the buildings are more than adequate for the CO-I District. The submitted landscaping plan exceeds the requirement of four plant units per 1,000 square feet of lot, as well as parking lot perimeter landscaping requirements and boulevard trees.

The submitted information shows that City plans and development requirements can be met. Staff's recommendation is to approve the site and elevation plans for submittal to the City Commission with the condition that all provisions of West Fargo City Ordinances are met to ensure sufficient review is provided for building inspections and other City departments.



West Fargo GIS, City of West Fargo, Fargo

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

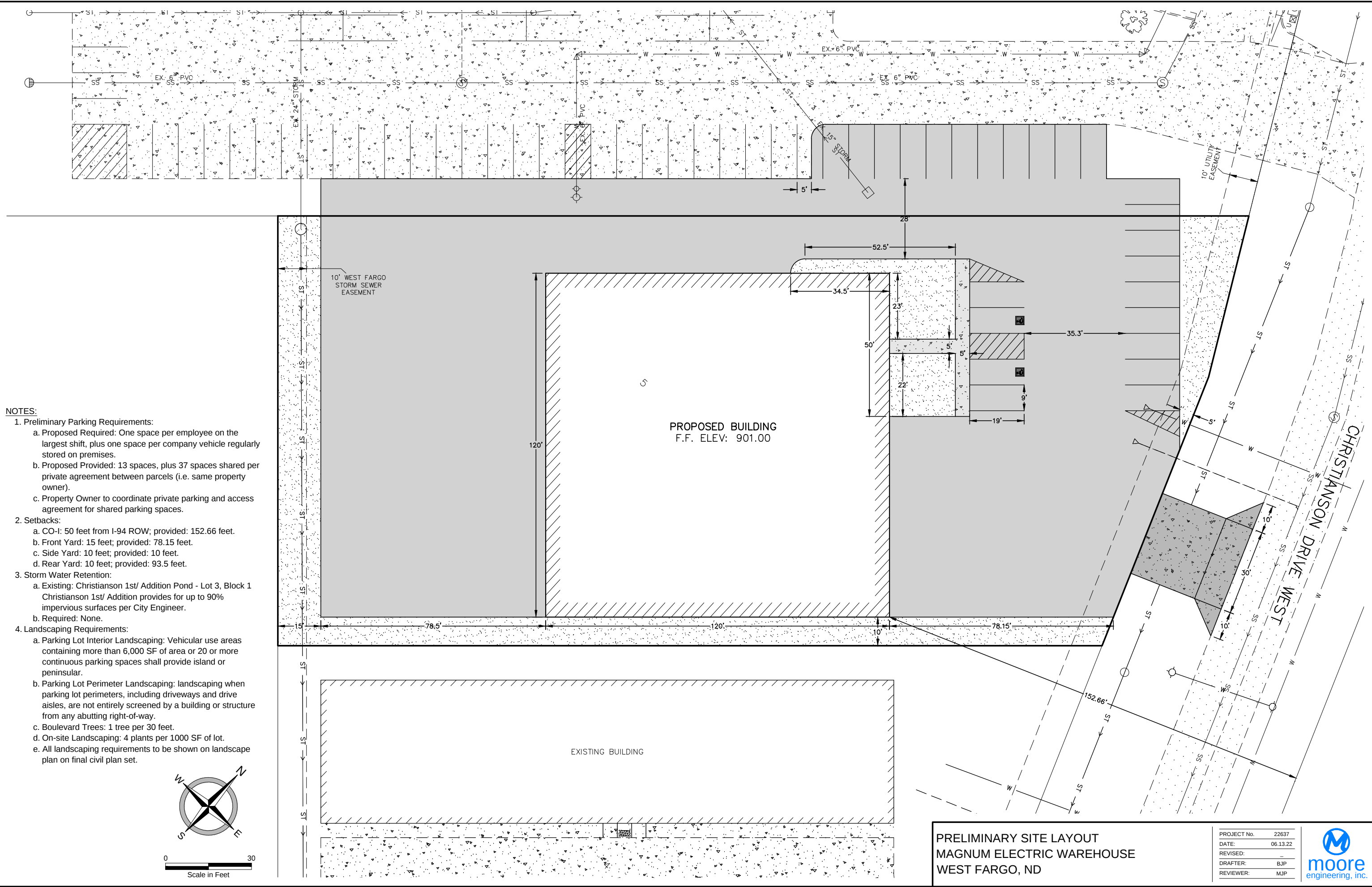
West Fargo

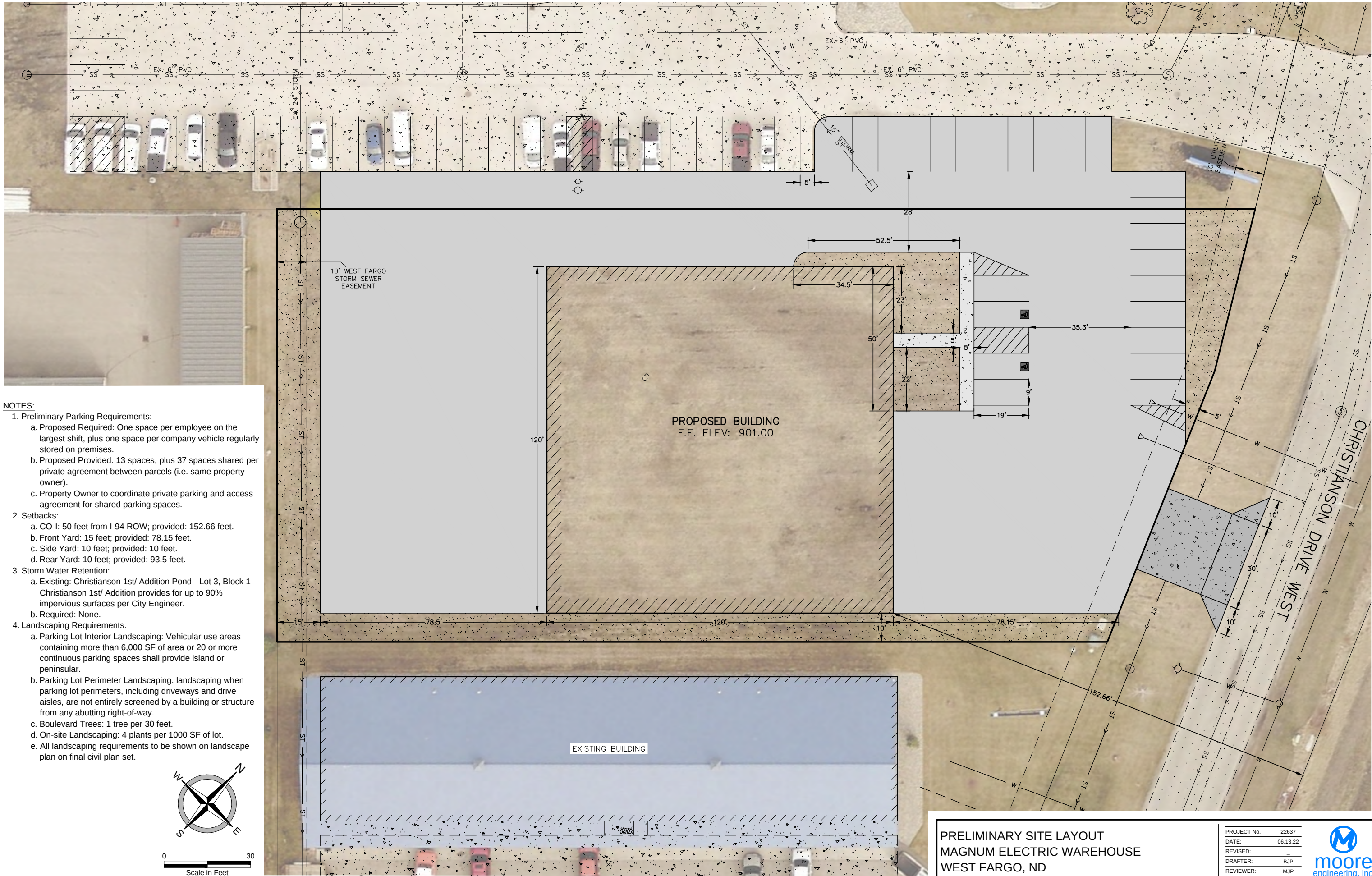
Date: 7/1/2022

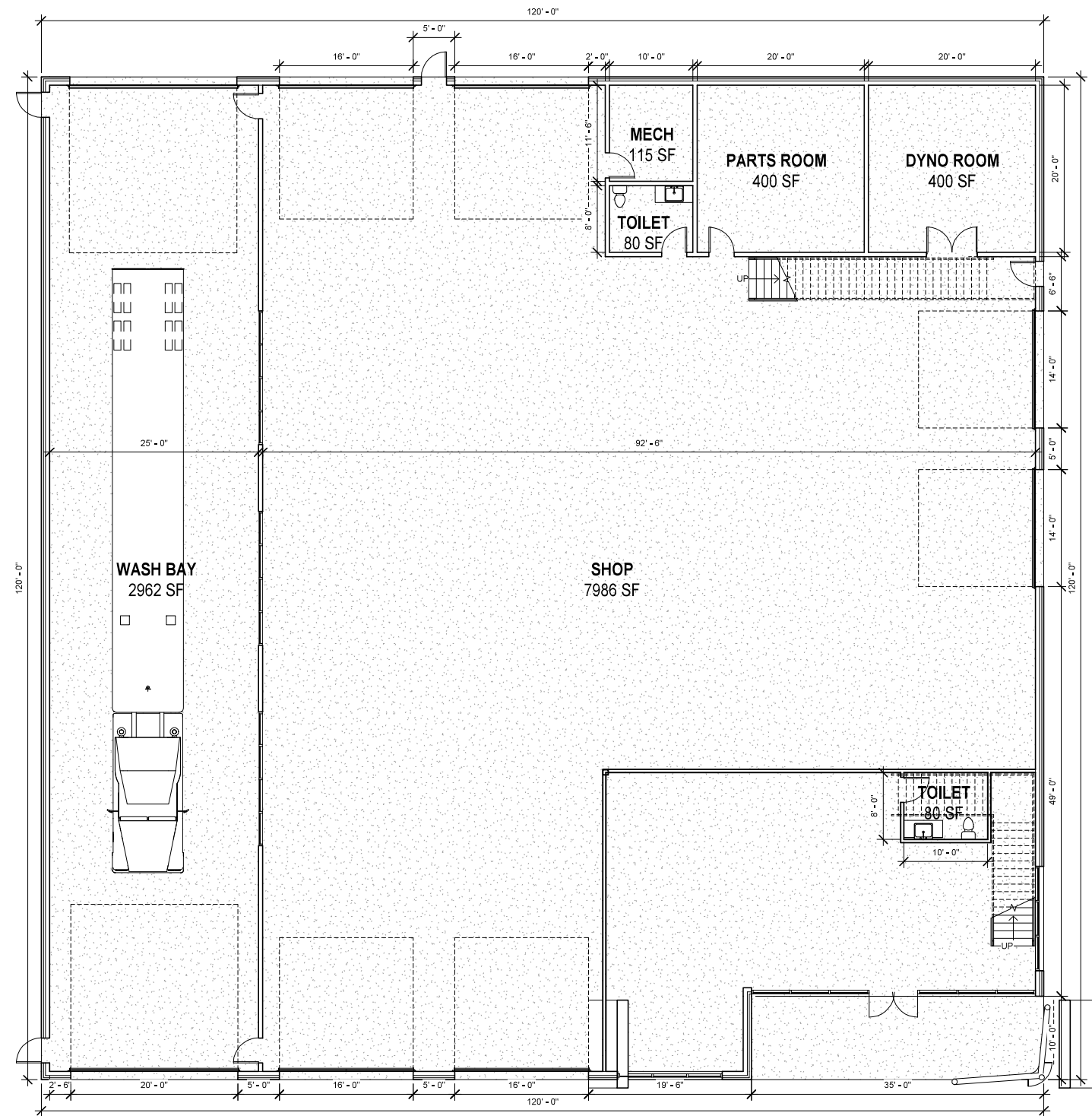
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.



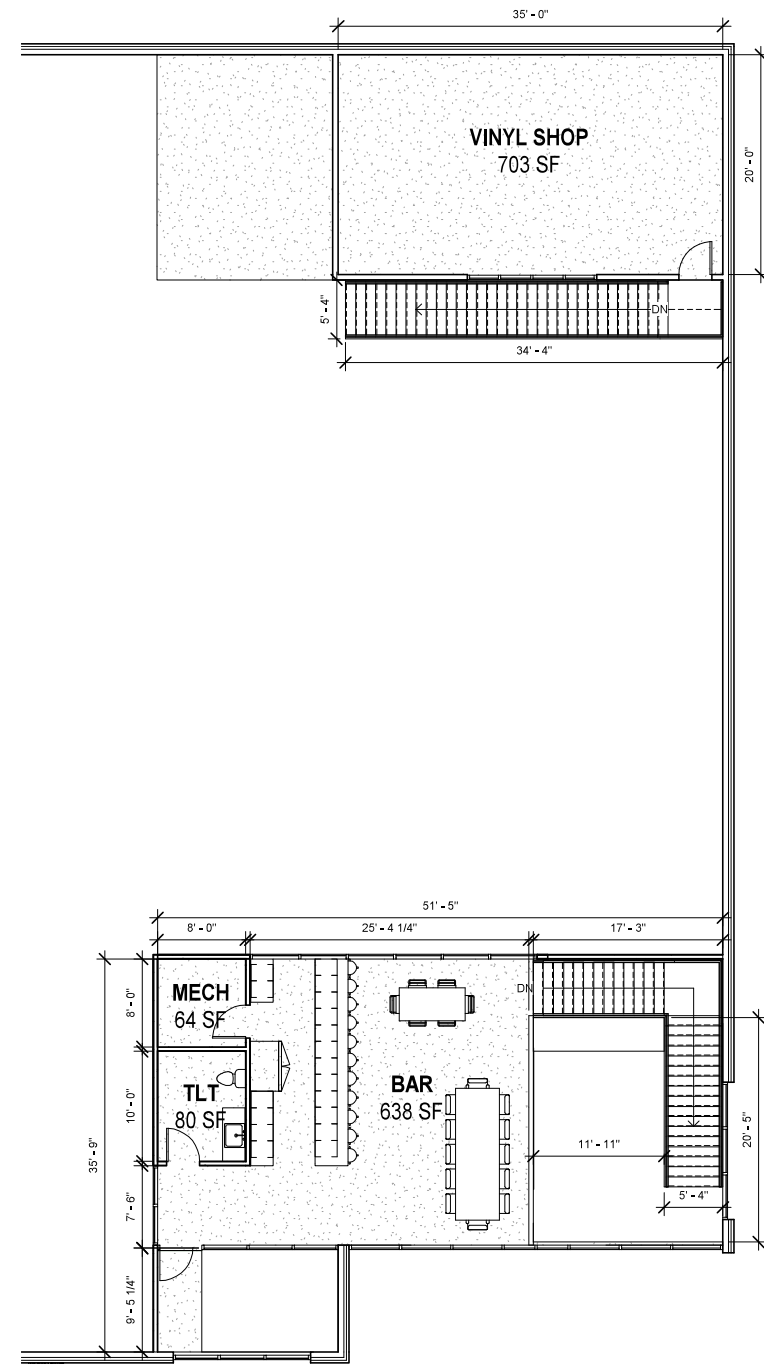








① FIRST FLOOR
1/8" = 1'-0"
NORTH



② SECOND FLOOR
1/8" = 1'-0"

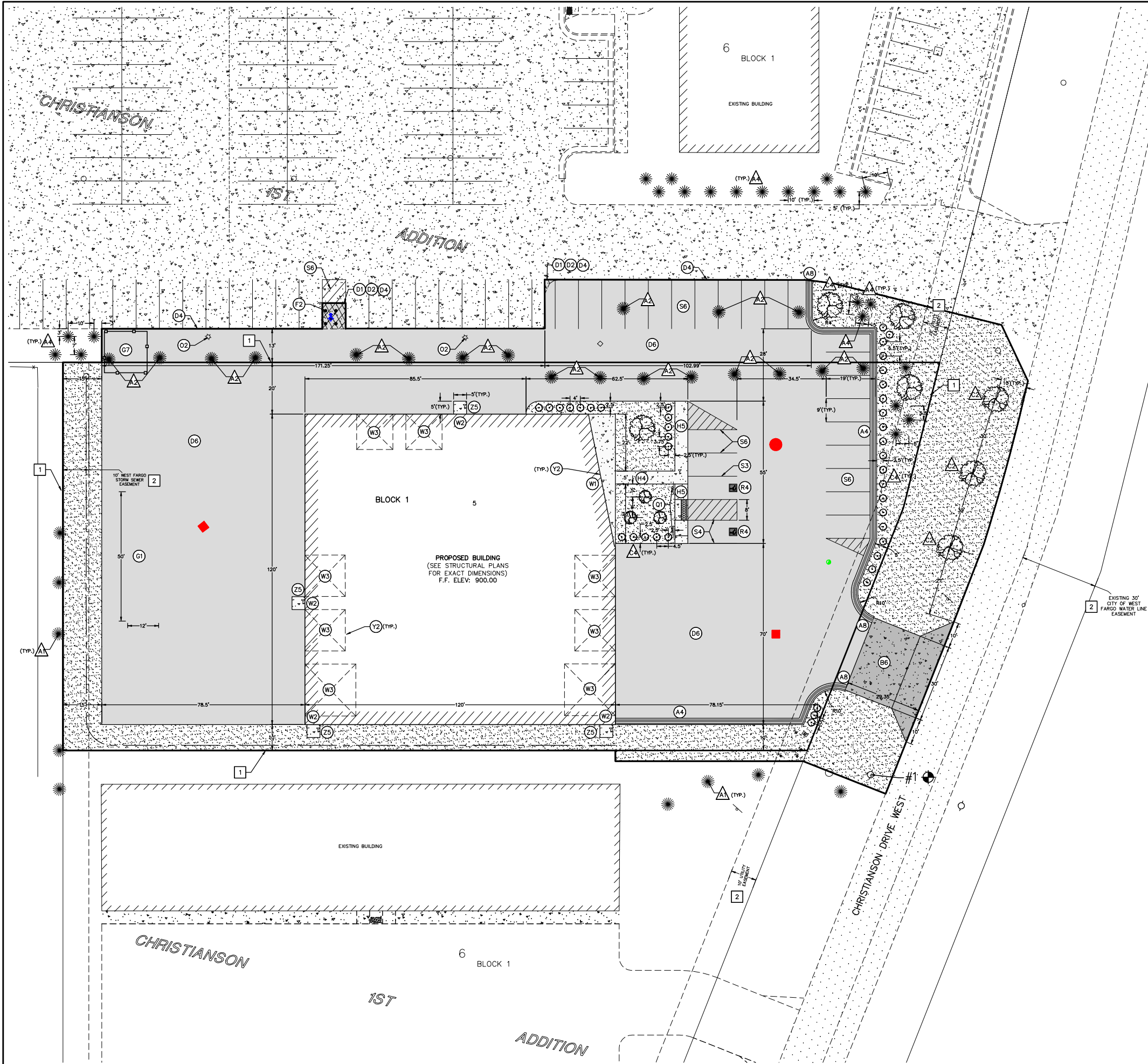
NOT FOR CONSTRUCTION

PROJECT:
MAGNUM WAREHOUSE
455 CHRISTIANSON DRIVE WEST
WEST FARGO NORTH DAKOTA

REVISIONS:		
No.	DATE	REMARK

PROJECT NO: 22-038
DATE: 06/08/22
DRAWN BY: MEM
CHECKED BY: NGV
DOCUMENT PHASE:
SCHEMATIC DESIGN

SHEET CONTENTS:
FIRST & SECOND
FLOOR PLAN



GENERAL NOTATIONS

- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.

SITE NOTATIONS - VEHICULAR AREAS

- A4 VA-4 CURB AND GUTTER - HIGHBACK.
- A8 VA-4 TAPER LAST 5' OF CURB AND GUTTER HEIGHT FROM FULL HEIGHT TO 0".
- B6 VA-13 CONCRETE DRIVEWAY - 7".
- D1 VA-30 SAWCUT EXISTING CONCRETE PAVEMENT FULL DEPTH.
- D2 VA-31 REMOVE EXISTING CONCRETE PAVEMENT, EXTENTS SHALL BE TO NEAREST EXISTING JOINT (I.E. FULL PANEL).
- D4 VA-32 CONNECT TO EXISTING CONCRETE PAVEMENT.
- D6 VA-33 CONCRETE PAVEMENT SECTION - HEAVY DUTY.
- F2 VA-51 BOLLARD POST.
- G1 OFF-STREET LOADING AREA.
- G7 VA-54 TRASH/RECYCLING ENCLOSURE/DUMPSTER AREA.

SITE NOTATIONS - PEDESTRIAN AREAS

- H4 PA-4 CONCRETE SIDEWALK.
- H5 PA-10 CONCRETE SIDEWALK CURB.

SITE NOTATIONS - MISCELLANEOUS

- O2 REMOVE EXISTING LIGHT STANDARD AND SAVE FOR RESETTING BY OTHERS.

SITE NOTATIONS - SIGNING

- Q1 SI-5 SIGN ASSEMBLY - VAN ACCESSIBLE PARKING.

SITE NOTATIONS - PAVEMENT MARKINGS

- R4 PM-3 MESSAGE - BLUE (INTERNATIONAL SYMBOL OF ACCESSIBILITY).
- S3 PM-2 STRIPE - 4" BLUE ADJACENT TO 4" YELLOW.
- S4 PM-2 STRIPE - 4" BLUE.
- S6 PM-2 STRIPE - 4" YELLOW.

SITE NOTATIONS - GENERAL

- W1 PEDESTRIAN ENTRANCE - MAIN.
- W2 PEDESTRIAN ENTRANCE - SECONDARY.
- W3 VEHICULAR ENTRANCE - OVERHEAD DOOR.
- Y2 SEE ARCHITECTURAL AND STRUCTURAL PLANS. EXACT DOOR LOCATIONS TO BE PROVIDED BY OTHERS.
- Z5 STOOP (SEE STRUCTURAL PLANS).

LANDSCAPE NOTATIONS

- A1 EXISTING TREE TO REMAIN.
- LA-1 REMOVE EXISTING TREE.
- LA-2 RESET TREE LOCATION.
- LA-21 WEST FARGO BOULEVARD TREE.
- LA-21 WEST FARGO ONSITE PLANTING.



0 20
Scale in Feet

BENCHMARK LIST			
VERTICAL DATUM: NGVD 29		HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION	
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	NE OF LOTS 4-5 CORNER, SOUTH OF CHRISTIANSON DRIVE WEST	902.14



SITE PLANS
MAGNUM WAREHOUSE
LOT 5 BLOCK 1 - CHRISTIANSON 1ST ADDITION
WEST FARGO, NORTH DAKOTA
SITE AND LANDSCAPE PLAN

DATE:	07.01.22
REV DATE:	---
REV NUM:	---
RECORD:	---
PROJECT No.	22637
MANAGER:	MWW
DESIGNER:	BJP
DRAFTER:	BJP/MSG
REVIEWER:	EAG

C-402

FACT SHEET

WEST FARGO PLANNING & ZONING COMMISSION

July 12, 2022

BACKGROUND:

PURPOSE: CO: Corridor Overlay Site Plan Review at 779 32nd Ave W (Lot 4, Block 1 of Eagle Run Plaza 12th Addition), City of West Fargo North Dakota

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Commercial Office/Retail Condo

EXISTING ZONING: CO: Corridor Overlay & C: Light Commercial

PARCEL SIZE: 9,896 square feet

The applicant has submitted site plans, including elevations showing a 1,500 square foot, two-story structure for use as office space.

Under Section 4-431.5.2.a, there is a higher construction standard for areas in the CO: Corridor Overlay District requiring the applicant receive approval of site and building plans by the Planning & Zoning and City Commissions prior to approval of a building permit for those areas along Sheyenne Street between Interstate 94 as well as 40th Avenue, 32nd Avenue west of Sheyenne Street and 13th Avenue East.

The Building Construction standards under 4-431.5. of the CO: Corridor Overlay District limits Light Commercial properties to no more than 30% metal or fiberglass on all walls fronting a public street provided it is coordinated into the architectural design. Seventy percent (70%) of any wall (facade area) which fronts on a public street shall be constructed of glass, brick, wood, stone, architectural concrete cast in place or precast concrete panels, or, as approved by the Commission(s), other integrated materials per the architectural design. The building does not front a public street; however, is faced with a combination of glass, LP siding (wood composite), brick, steel and metal, which would exceed the standard.

Setbacks for the building are more than adequate for the CO: Corridor Overlay District, as is the landscaping.

Under the original subdivision plat, a requirement for sidewalk or multi-use path connectivity within the subdivision was a condition of approval and addressed in a signed improvement agreement. The applicant previously submitted a plan showing connectivity to the 33rd Avenue West sidewalk.

Required parking for general office uses would be would be one space 300 square feet of gross floor area and the developer intends for share parking for the proposed four buildings/lots. Forty (40) parking spaces would be required, with the site plan showing 45 spaces.

Cross access easements within the plat provide access to 6th & 9th Streets West, as well as to 32nd and 33rd Avenues West. Direct driveway access to this lot is proposed to the north, along the east/west cross access easement.

The submitted information shows that City plans and development requirements can be met. Staff's recommendation is to approve the site and elevation plans for submittal to the City Commission with the condition that all provisions of West Fargo City Ordinances are met to ensure sufficient review is provided for building inspections and other City departments



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

West Fargo

Date: 7/1/2022

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.





FILE LOCATION: R:\Projects\2020\190021933\01\PRODUCT\01\21933-COVER.dwg

PROJECT INFORMATION

PROJECT SUMMARY NOTES

LEGAL DESCRIPTION: LOTS 1-4, BLOCK 1 OF EAGLE RUN PLAZA 12TH ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA

AREA: LOT 1 - 10,105 S.F. (0.23 ACRES)
LOT 2 - 9,896 S.F. (0.227 ACRES)
LOT 3 - 9,896 S.F. (0.227 ACRES)
LOT 4 - 9,896 S.F. (0.227 ACRES)

ZONING: "C" DISTRICT - LIGHT COMMERCIAL DISTRICT AND "CO" DISTRICT - CORRIDOR OVERLAY DISTRICT

EXISTING USE OF PROPERTY: VACANT

PROPOSED USE OF PROPERTY: 1 OFFICE BUILDING AND PARKING LOT PER LOT

DEVELOPER: MIKE GRAHAM
FOUR HORSEMEN, LLC
3259 OAK RIDGE LOOP EAST
WEST FARGO, ND 58078
MIKE@MAGNUMELECTRIC.NET

ENGINEER: KYLE McCAMY, PE
MOORE ENGINEERING, INC.
925 10TH AVENUE EAST, SUITE 1
WEST FARGO, ND 58078
KYLE.MCCAMY@MOOREENGINEERINGINC.COM
(701) 282-4692

BASE ZONING DISTRICT REQUIREMENTS

NONE REQUIRED

CORRIDOR OVERLAY DISTRICT REQUIREMENTS

FRONT YARD: MINIMUM: 15 FEET (NOT ABUTTING DESIGNATED STREET)
PROVIDED: 35.81 FEET - LOT 1 (SOUTH)
34.25 FEET - LOT 2 (NORTH)
34.25 FEET - LOT 3 (NORTH)
34.25 FEET - LOT 4 (SOUTH)

SIDE YARD: MINIMUM: 10 FEET
PROVIDED: 10 FEET - LOT 1 (NORTH)
10 FEET - LOT 2 (SOUTH)
10 FEET - LOT 3 (SOUTH)
10 FEET - LOT 4 (NORTH)

REAR YARD: MINIMUM: 10 FEET (NOT ABUTTING DESIGNATED STREET)
PROVIDED: 10.5 FEET - LOT 1 (WEST)
10.5 FEET - LOT 2 (WEST)
20.5 FEET - LOT 3 (EAST)
20.5 FEET - LOT 4 (EAST)

LOT COVERAGE BY BUILDINGS: MAXIMUM: 40% (4,042 S.F. - LOT 1, 3,958.40 S.F. - LOTS 2-4)
PROVIDED: 14.84% - LOT 1 (1,500 S.F.)
15.16% - LOT 2 (1,500 S.F.)
15.16% - LOT 3 (1,500 S.F.)
15.16% - LOT 4 (1,500 S.F.)

OPEN SPACE LANDSCAPING OF LOT AREA: MINIMUM: 10% (1,010.50 S.F. - LOT 1, 989.60 S.F. - LOTS 2-4)
PROVIDED: 23.82% - LOT 1 (2,406.85 S.F.)
20.65% - LOT 2 (2,044.93 S.F.)
14.28% - LOT 3 (1,412.96 S.F.)
16.94% - LOT 4 (1,676.40 S.F.)

LANDSCAPED OPEN SPACE TO SEPARATE PARKING AREAS OR ACCESS DRIVES AND FRONT LOT LINES:

MINIMUM: 5 FEET
PROVIDED: 5 FEET - LOT 1 (SOUTH)
25 FEET - LOT 2 (NORTH)
25 FEET - LOT 3 (NORTH)
5 FEET - LOT 4 (SOUTH)

LANDSCAPED OPEN SPACE TO SEPARATE PARKING AREAS AND BUILDING SETBACK LINES:

MINIMUM: 5 FEET
PROVIDED: 5 FEET - LOT 1 (EAST)
5 FEET - LOT 2 (EAST)
5 FEET - LOT 3 (WEST)
5 FEET - LOT 4 (WEST)

OFF-STREET PARKING AND LOADING REQUIREMENTS

OFF-STREET PARKING: MINIMUM: 45 SPACES
15 SPACES - LOT 1 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 3,000 S.F. = 15, SO 15 SPACES)
15 SPACES - LOT 2 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 3,000 S.F. = 15, SO 15 SPACES)
7 SPACES - LOT 3 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 1,500 S.F. = 7.5, SO 7 SPACES)
8 SPACES - LOT 4 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 1,500 S.F. = 7.5, SO 8 SPACES)
PROVIDED: 45 SPACES (CUMULATIVE GROSS FLOOR AREA = 9,000 S.F.; 1 SPACE / 200 S.F. X 9,000 S.F. = 45, SO 45 SPACES)
15 SPACES - LOT 1 (14 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
14 SPACES - LOT 2 (13 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
7 SPACES - LOT 3 (6 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
9 SPACES - LOT 4 (8 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)

PARKING FOR PERSONS WITH DISABILITIES:

MINIMUM: 2 SPACES - LOT 1-4 (1 VAN ACCESSIBLE SPACE AND 1 ACCESSIBLE SPACE FOR LOT WITH 26-60 TOTAL SPACES*)
PROVIDED: 4 SPACES - LOT 1-4 (4 VAN ACCESSIBLE)
*DEVELOPER TO COORDINATE PREPARATION/EXECUTION OF SHARED PARKING AGREEMENT FOR ADA STALL USE.

OFF-STREET LOADING: N/A - EACH OFFICE OR RESEARCH BUILDING IS LESS THAN 20,000 S.F.

LANDSCAPING REQUIREMENTS

ONSITE LANDSCAPING: MINIMUM: 161 PLANT UNITS
41 PLANT UNITS - LOT 1 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 10,105 S.F. X 4 PLANT UNITS/ 1,000 S.F. = 40.42, SO 41 PLANT UNITS)
40 PLANT UNITS - LOT 2 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/ 1,000 S.F. = 39.58, SO 40 PLANT UNITS)
40 PLANT UNITS - LOT 3 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/ 1,000 S.F. = 39.58, SO 40 PLANT UNITS)
40 PLANT UNITS - LOT 4 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/ 1,000 S.F. = 39.58, SO 40 PLANT UNITS)
PROVIDED: 375 PLANT UNITS
LOT 1 - 106 PLANT UNITS
7 PLANT UNITS IN 1 SMALL, MATURE DECIDUOUS TREES (6.80%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (9.43%)
14 PLANT UNITS IN 1 SMALL, MATURE EVERGREEN TREES (13.21%)
75 PLANT UNITS IN 15 MATURE SHRUBS (70.75%)
LOT 2 - 86 PLANT UNITS
14 PLANT UNITS IN 2 SMALL, MATURE DECIDUOUS TREES (16.28%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (11.63%)
7 PLANT UNITS IN 1 SMALL, MATURE EVERGREEN TREES (8.14%)
55 PLANT UNITS IN 11 MATURE SHRUBS (63.85%)
LOT 3 - 71 PLANT UNITS
7 PLANT UNITS IN 1 SMALL, MATURE DECIDUOUS TREES (9.86%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (14.80%)
14 PLANT UNITS IN 2 SMALL, MATURE EVERGREEN TREES (19.72%)
40 PLANT UNITS IN 8 MATURE SHRUBS (56.34%)
LOT 4 - 112 PLANT UNITS
21 PLANT UNITS IN 3 SMALL, MATURE DECIDUOUS TREES (18.75%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (8.93%)
21 PLANT UNITS IN 3 SMALL, MATURE EVERGREEN TREES (18.75%)
60 PLANT UNITS IN 12 MATURE SHRUBS (53.57%)

BOULEVARD TREES: MINIMUM: 7 TREES (1 TREE PER 30 FT OF LOT FRONTAGE: 210.79 FT X 1 TREE/ 30 FT FRONTAGE = 7.026, SO 7 TREES)
PROVIDED: 5 TREES (ALONG 33RD AVENUE WEST) (EXISTING ACCESS ROADWAYS AND CITY STREET LIGHTS LESSENS BOULEVARD SPACE FOR ALL REQUIRED TREES)

BUFFER YARD PLANTINGS: N/A - DISTRICT IS NOT IN BUFFER YARDS, SCREENING, AND ZONING STANDARDS TABLE.

SCREENING: MINIMUM: TRASH DUMPSTERS OR CONTAINERS USED FOR RECYCLING SHALL BE SCREENED ON THREE SIDES WITH ARCHITECTURAL SCREENING
PROVIDED: SCREENED TRASH/DUMPSTER RECYCLING AREA PER CITY'S TYPICAL DETAIL.

PARKING LOT PERIMETER LANDSCAPING:

MINIMUM: LANDSCAPING WHEN PARKING LOT PERIMETERS, INCLUDING DRIVEWAYS AND DRIVE AISLES, ARE NOT ENTIRELY SCREENED BY A BUILDING OR STRUCTURE FROM ANY ABUTTING RIGHT-OF-WAY
PROVIDED: PLANTINGS ALONG NORTH AND SOUTH EDGES OF PARKING LOT

PARKING LOT INTERIOR LANDSCAPING:

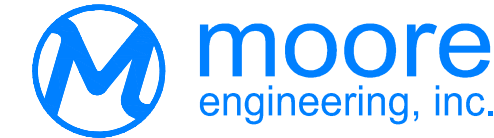
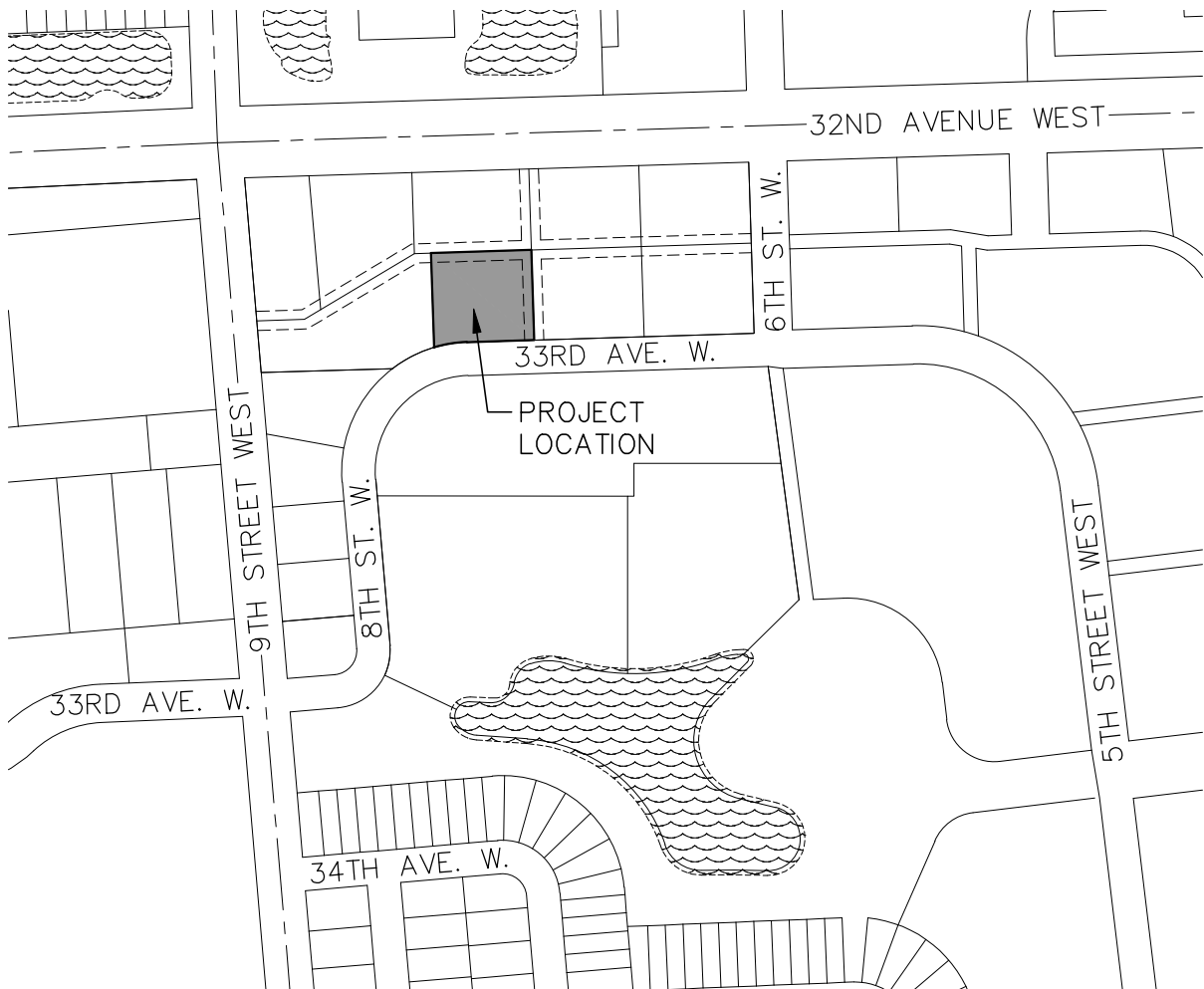
MINIMUM: VEHICULAR USE AREAS CONTAINING MORE THAN 6,000 SQUARE FEET OF AREA OR 20 OR MORE CONTINUOUS PARKING SPACES (40 BACK TO BACK) SHALL PROVIDE AN ISLAND OR PENINSULA
PROVIDED: 171 S.F. ISLAND

LOTS 1-4 OFFICE CONDOS

EAGLE RUN PLAZA 12TH ADDITION

WEST FARGO, NORTH DAKOTA

VICINITY MAP



Consulting Engineering • Land Surveying

925 10th Avenue East, Suite 1 • West Fargo, North Dakota

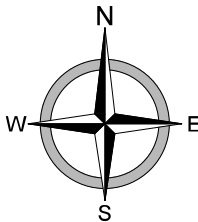
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STORM WATER RETENTION REQUIREMENTS

STORM WATER RETENTION:		LOT SIZE:	39,795.11 S.F. (0.91357 ACRES)
		% IMPERVIOUS:	80% (31,836.09 S.F.) 66% (26,253.78 S.F.) BUILDINGS, VEHICULAR AREAS, PEDESTRIAN AREAS 14% (5,688.23 S.F.) EXISTING ACCESS ROADWAY
REQUIRED:		7,973 C.F. (0.91357 ACRES AT 80% IMPERVIOUS)	
EXISTING:		5,670 C.F. (EAGLE RUN EAST REGIONAL POND FOR UP TO 70% IMPERVIOUS)	
PROVIDED:		2,341 C.F.	1,293 C.F. IN 183" OF 36" STORM SEWER PIPES 353 C.F. IN 72" OF 30" STORM SEWER PIPES 124 C.F. IN 60" STORM SEWER MANHOLE M1* 231 C.F. IN 84" STORM SEWER MANHOLE M2* 229 C.F. IN 84" STORM SEWER MANHOLE M3* 111 C.F. IN 60" STORM SEWER MANHOLE M4*
TOTAL:		8,011 C.F.	* BELOW SITE'S "BREAK-EVEN" ELEVATION OF 900.00



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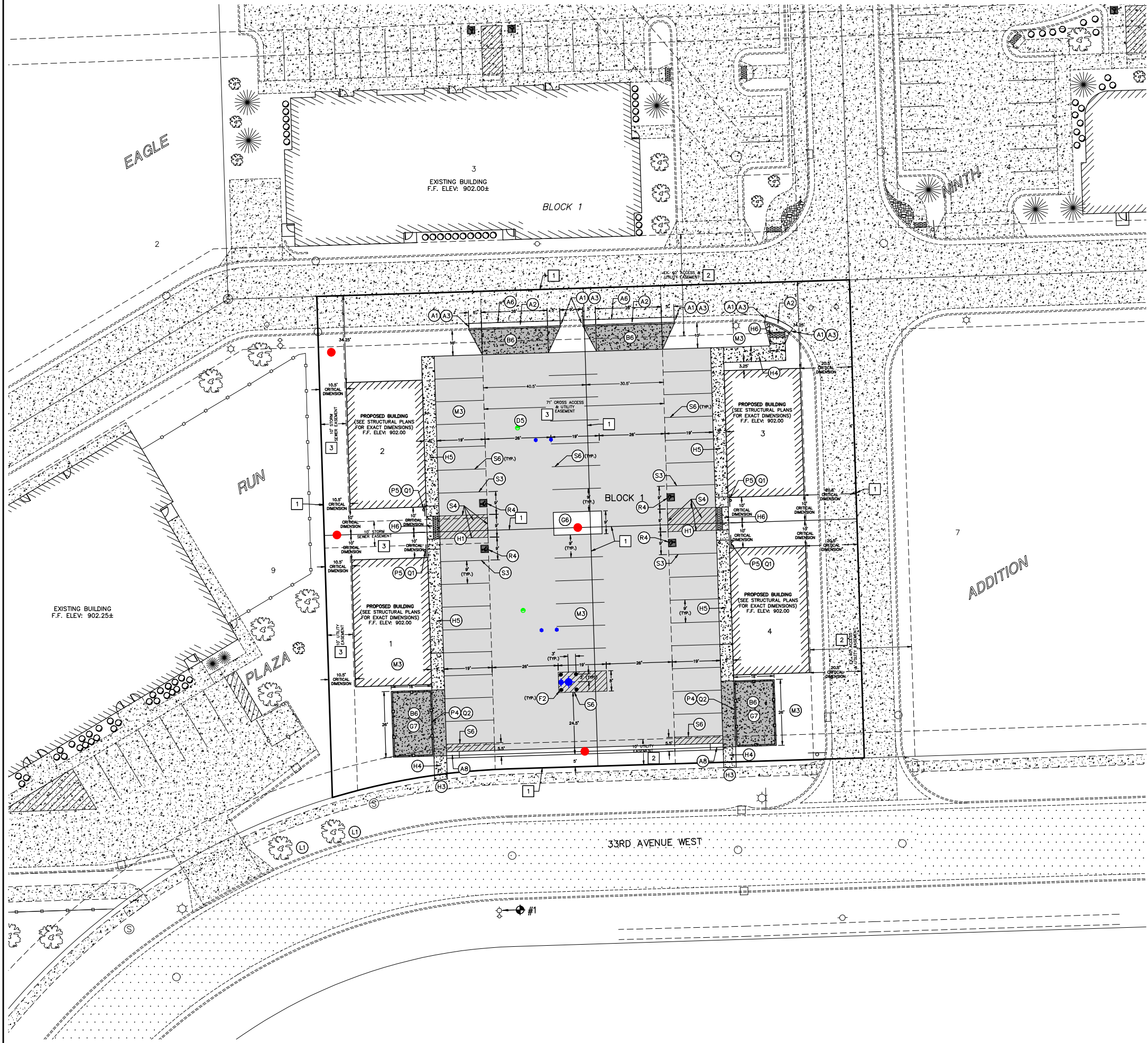


COVER SHEET
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
COVER SHEET

DATE:	06.09.21
REVISED:	07.19.21
REVISED:	----
REVISED:	----
REVISED:	----
RECORD:	----
PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB

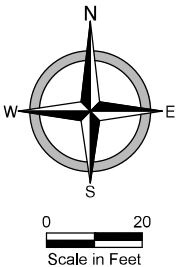
G-001

SHEET 1 OF 10



GENERAL NOTATIONS

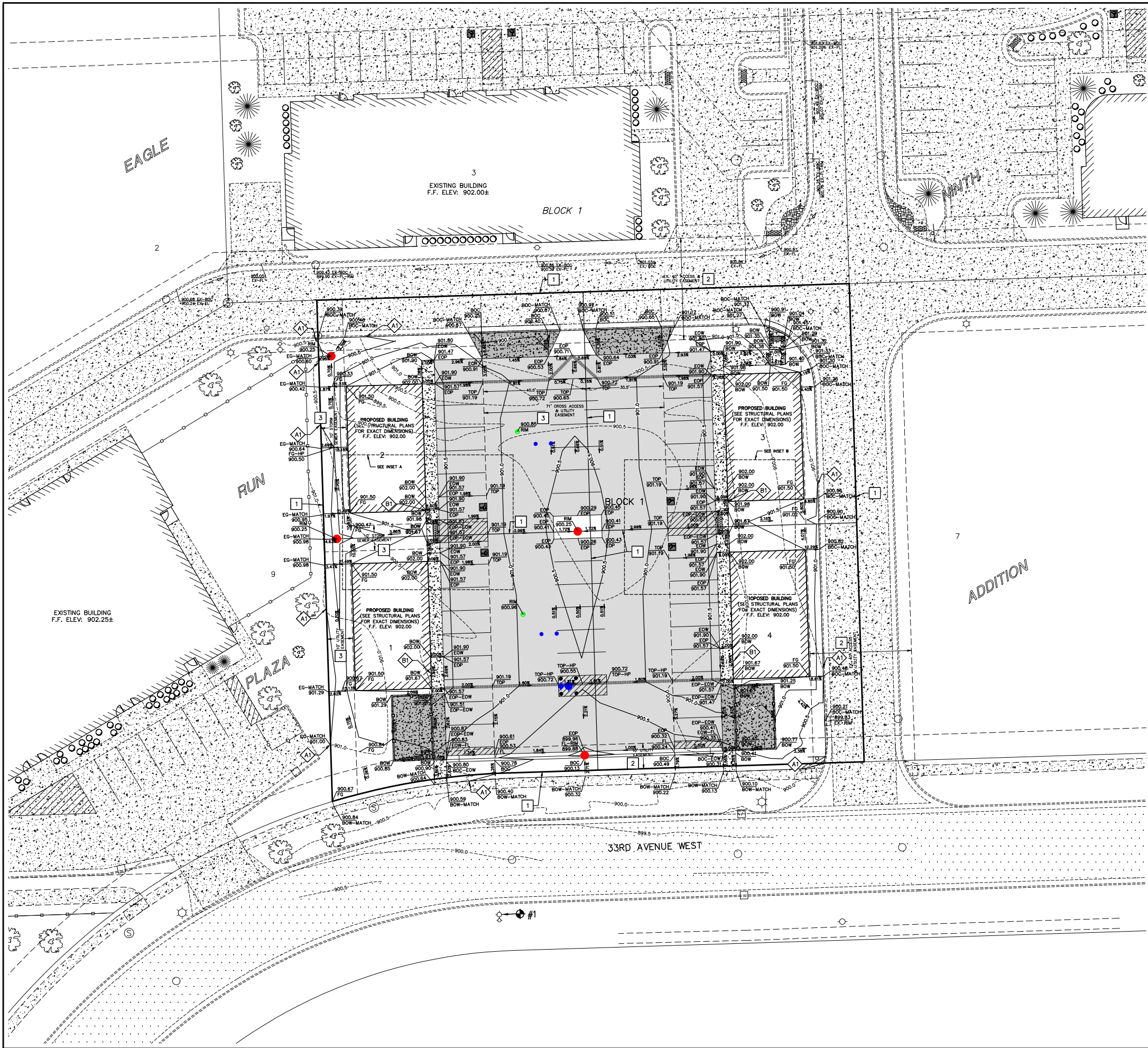
- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.
- 3 PROPOSED EASEMENT.
- SITE NOTATIONS - VEHICULAR AREAS
 - A1 VA-1 SAWCUT EXISTING CURB AND GUTTER FULL DEPTH.
 - A2 VA-2 REMOVE EXISTING CURB AND GUTTER. REPLACE WITH KNOCKDOWN CURB AND GUTTER.
 - A3 VA-3 CONNECT TO EXISTING CURB AND GUTTER.
 - A5 CURB AND GUTTER - MOUNTABLE.
 - A6 CURB AND GUTTER - KNOCKDOWN.
 - A8 VA-4 TAPER LAST 5' OF CURB AND GUTTER HEIGHT FROM FULL HEIGHT TO 0".
 - B6 VA-13 CONCRETE DRIVEWAY - 7".
 - D5 VA-33 CONCRETE PAVEMENT SECTION - REGULAR.
 - F2 VA-51 BOLLARD POST.
 - G6 INTERIOR LANDSCAPING ISLAND.
 - G7 VA-54 TRASH/RECYCLING ENCLOSURE/DUMPSTER AREA.
- SITE NOTATIONS - PEDESTRIAN AREAS
 - H1 DEVELOPER TO COORDINATE PREPARATION/EXECUTION OF SHARED PARKING AGREEMENT FOR ADA STALL USE.
 - H3 PA-3 CONNECT TO EXISTING CONCRETE SIDEWALK.
 - H4 PA-4 CONCRETE SIDEWALK.
 - H5 PA-10 CONCRETE SIDEWALK CURB.
 - H6 PA-11 CONCRETE CURB RAMP.
- SITE NOTATIONS - MISCELLANEOUS
 - L1 EXISTING TREE TO REMAIN.
 - M3 MI-20 STRIP EXISTING TOPSOIL.
- SITE NOTATIONS - SIGNING
 - P4 MOUNT SIGN ON DUMPSTER FENCING/SCREENING.
 - P5 SI-3 MOUNT SIGN ON POST.
 - Q1 SI-5 SIGN ASSEMBLY - VAN ACCESSIBLE PARKING.
 - Q2 CONTRACTOR TO INSTALL "NO PARKING DURING GARBAGE PICKUP DAY SIGN". OWNER TO APPROVE SIGN LAYOUT/DESIGN BEFORE INSTALLATION.
- SITE NOTATIONS - PAVEMENT MARKINGS
 - R4 PM-3 MESSAGE - BLUE (INTERNATIONAL SYMBOL OF ACCESSIBILITY).
 - S3 PM-2 STRIPE - 4" BLUE ADJACENT TO 4" YELLOW.
 - S4 PM-2 STRIPE - 4" BLUE.
 - S6 PM-2 STRIPE - 4" YELLOW.



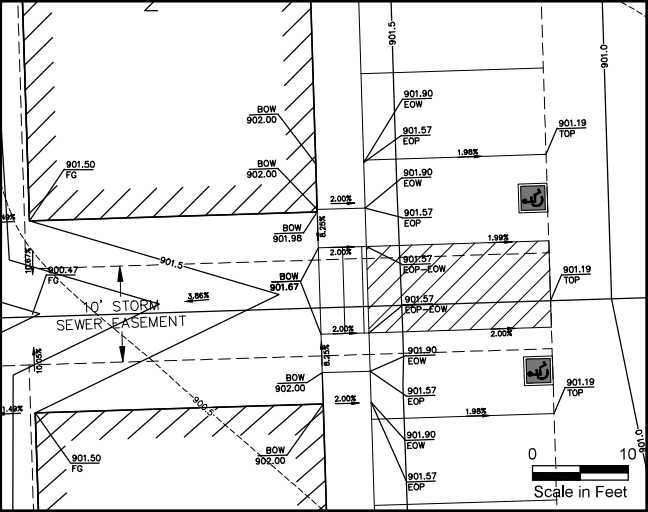
BENCHMARK LIST			
VERTICAL DATUM: NSVD 29			
HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION			
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	SOUTH SIDE OF 33RD AVENUE WEST	903.60

SITE PLAN
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
SITE PLAN

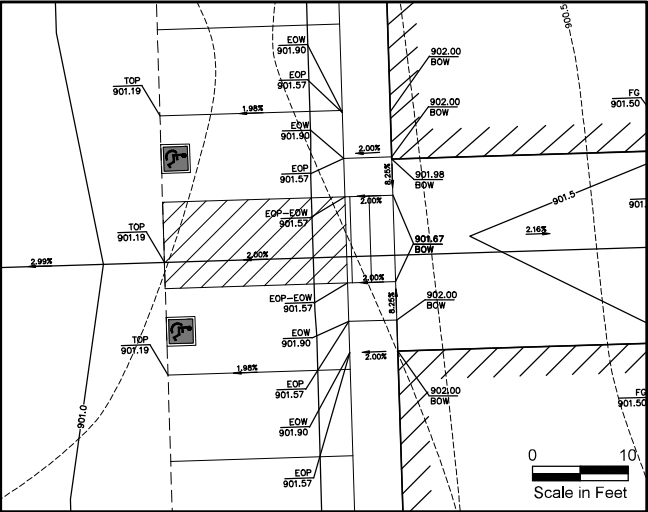
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PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB



INSET A



INSET B



GENERAL NOTATIONS

- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.
- 3 PROPOSED EASEMENT.

GRADING NOTATIONS

- A1 MATCH INTO EXISTING CONTOUR ELEVATION.
- B1 EXPOSED FOUNDATION WALL.

BENCHMARK LIST			
VERTICAL DATUM: NGVD 29			
HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION			
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	SOUTH SIDE OF 33RD AVENUE WEST	903.60

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GRADING PLAN
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
GRADING PLAN

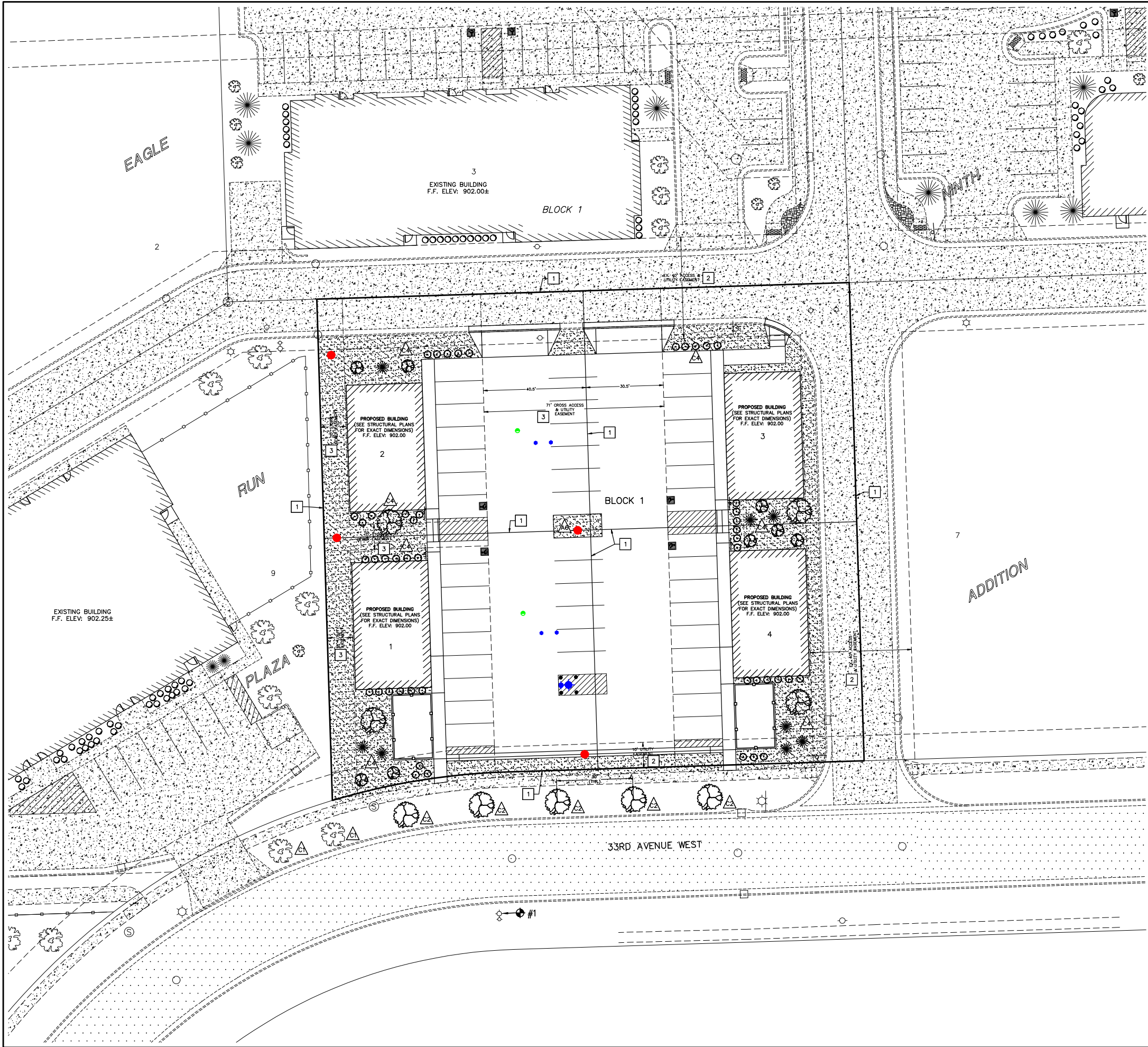
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PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP/KAG
DRAFTER:	KAG
REVIEWER:	CPB

C-403

SHEET 6 OF 10

FILE LOCATION: R:\Projects\2100021933\CIVIL\PRODUCTION\21933-SITE.dwg

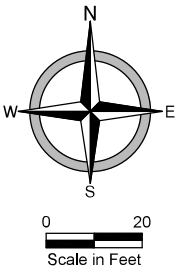


GENERAL NOTATIONS

- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.
- 3 PROPOSED EASEMENT.

LANDSCAPE NOTATIONS

- LA-7 PLANTING BED.
- EXISTING WEST FARGO BOULEVARD TREE.
- LA-21 WEST FARGO BOULEVARD TREE.
- LA-21 WEST FARGO ONSITE PLANTING.



BENCHMARK LIST			
VERTICAL DATUM: NGVD 29			
HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION			
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	SOUTH SIDE OF 33RD AVENUE WEST	903.60

LANDSCAPE PLAN
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
LANDSCAPE PLAN

DATE:	06.09.21
REVISED:	07.19.21
REVISED:	---
REVISED:	---
REVISED:	---
REVISED:	---
RECORD:	---

PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB

C-405

SHEET 8 OF 10

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MEMORANDUM

TO: West Fargo Planning & Zoning Commission
FROM: Aaron Nelson, Planning Director *AN*
DATE: July 8, 2022
SUBJECT: Item 6 – City of West Fargo Planning Needs Assessment

The City of West Fargo is partnering with consultant PlaceMakers, LLC to conduct a citywide assessment of planning resources and need. The purpose of this assessment is to clarify the City's current planning/development-related issues, to prioritize the areas of greatest future need for the City, and to build consensus around associated action steps. The Planning Department intends to utilize the results of this effort to inform its work plan for 2023 and beyond, contingent upon corresponding resource allocation to support this work as applicable. This effort seeks to advance and build upon the recommendations of the City's Comprehensive Plan, West Fargo 2.0.

This process kicked-off at the end of June with an initial questionnaire to Planning & Zoning Commissioners and some members of City staff, and will likely conclude in September. Throughout this process the Planning & Zoning Commission will be asked to participate in discussions with the consultant, to review and provide feedback on draft deliverables, and ultimately to provide recommendations based on project findings.

Staff will provide a brief overview of this project at the July 12 Planning & Zoning Commission meeting and will be available to discuss in more detail with the Commission. Included below are a few project highlights. This is an informational/discussion item and no action is being requested.

Primary Issue

In summary, there is a general lack of agreement on where the City (and specifically its Planning Department) should be focusing its planning and community development efforts within the next few years. There are many various issues that exceed the capacity and resources available to sufficiently study and to address. Many of these issues have been identified within the West Fargo 2.0 Comprehensive Plan, while others have come to light more recently. What's more, there is no clear consensus as to which of these issues should have priority.

Desired Outcomes

- A clear understanding of existing and potential planning & development-related issues the City may need to address within the next 10 years.
- General agreement on which planning & development-related issues the City should prioritize and focus resources (and, consequently, which issues should not be given attention).
- A clear understanding of the resources needed to address key planning & development-related issues.
- Defined and tangible implementation actions and recommendations.

Anticipated Deliverables

- A needs assessment document, which includes a summary of the process, identification of issues and needs, supporting rationale for identified needs, etc.
- An action plan document, which includes a strategy to implement recommendations, and including such things as timelines, roles & responsibilities, necessary resources, and anticipated funding sources.
- Presentation of findings and recommendations to the City.