



*Aaron Nelson, AICP Director of Planning and Zoning
Leslie McGillivray-Rivas, Sr. Planner
Lisa Sankey, Planner
Breanna Siegler, Office Manager*

www.westfargond.gov

West Fargo Planning & Zoning Commission Agenda
Tuesday, December 12, 2023 - 5:30 p.m.

- A. Call to Order
- B. Approval of Order of Agenda
- C. Approval of Minutes- November 14, 2023
- D. Regular Agenda
 - 1. Public Hearing-A23-30 Tintes Land Company 15th Addition, request for Conditional Use Permit to install a wireless telecommunications tower in residential district, 1402 & 1420 16th Street East (Lots 1-3, Block 2 of Tintes Land Company 15th Addition), City of West Fargo, North Dakota- McGillivray-Rivas
- E. Non-Agenda Items
- F. Adjourn from Regular Agenda



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West Fargo Planning & Zoning Commission Meeting Minutes
Tuesday, November 14, 2023 - 5:30 p.m.

Members Present: Joe Kolb, Eric Dodds, Mike Thorstad, Kathi Schwan, David Gust

Members Absent: Aleya Leibfried

Others Present: Aaron Nelson, Lisa Sankey, Katie Schmidt, Leslie McGillivray-Rivas, Breanna Siegler

Minutes Submitted by: Breanna Siegler, Office Manager

Meeting was called to order by Chair Kolb at 5:30pm. Commissioner Gust motioned to approve the order of the agenda, Commissioner Schwan seconded. No opposition. Motion passed.

Commissioner Dodds moved and Commissioner Thorstad seconded a motion to approve the minutes from October 10, 2023. No opposition. Motion passed.

Chair Kolb opened a public hearing on A23-28 Steffes 10th Addition, a request for a replat of Lot 4, Block 1 Steffes 8th Addition (445 7th Street NW), City of West Fargo, North Dakota. No public comment. Chair Kolb closed the public hearing. Commissioner Gust motioned to approve application as presented, Commissioner Dodds seconded. No opposition. Motion passed.

Chair Kolb opened discussion for approval of 2024 Planning and Zoning Commission meeting dates. Commissioner Kolb motioned for a vote to approve chosen dates. No opposition. Schedule of dates approved.

Chair Kolb opened the floor for non-agenda items. None were brought forth.

Commissioner Gust moved and Commissioner Dodds seconded to adjourn from regular agenda at 5:36pm. No opposition. Motion passed.

Chair Kolb opened floor to Planning Director Aaron Nelson for discussion agenda. Director Nelson provided update on the downtown placemaking master plan and upcoming Title IV Zoning Text Amendments.

Downtown Placemaking Master Plan has been published on the website and is available for public review and comment throughout the month of November. A public open house will be held on Tuesday, November 28th at 6-7:30pm at South Elementary (117 6th Ave W).

Planning staff will be working to bring forward targeted updates to Title IV of the City ordinances over the coming months, as recommended in the Planning Needs Assessment Action Plan.

Chair Kolb adjourned from the discussion agenda at 6:22pm.

CITY OF WEST FARGO PLANNING & COMMUNITY DEVELOPMENT

STAFF REPORT

A23-30		CONDITIONAL USE PERMIT
Tintes Land Company 15th Addition		
1402 & 1420 16th Street East (Lots 1 and 3 in Block Two of Tintes Land Co. Fifteenth Addition to the City of West Fargo, situated in the County of Cass and the State of North Dakota)		
Applicant: Lutheran Church of the Cross, Verizon Wireless		Staff Contact: Leslie McGillivray-Rivas
Planning & Zoning Commission Public Hearing:		December 12, 2023
City Commission (Tentative)		January 8, 2023

PURPOSE:

Conditional Use Permit for a Wireless Telecommunications Tower in a Residential District

STATEMENTS OF FACT:

Land Use Classification:	G-2 Sub Urban Growth Sector
Existing Land Use:	Church
Current Zoning District(s):	R-3: Multiple Dwelling District
Zoning Overlay District(s):	CO: Corridor Overlay District
Total area size:	Within Leased Area: 31.15' x 46' or 1,423 sf +/- Access Easement Area: 8,188 sf +/-
Adjacent Zoning Districts:	North – C: Commercial; CO: Corridor Overlay
	South – R-1A: Single Family Dwelling
	East – City of Fargo
	West – R-3: Multiple Dwelling District; R-1: One- and Two-Family Dwelling; R-1A: Single Family Dwelling
Adjacent street(s):	14th Ave East (Local); 16th Street East (Local)
Adjacent Bike/Pedestrian Facilities:	There is a shared use bike paths within Willow Park, Fargo, ND and along 13th Avenue SW.
Available Parks/Trail Facilities:	Maplewood Park is located to the south and west .3 Miles and is accessible by public sidewalks. City of Fargo's Willow Park is to the east.
Park Dedication Requirements:	N/A

DISCUSSION AND OBSERVATIONS:

- The applicant has applied for a Conditional Use to allow a Wireless Telecommunications Tower to be in an R-3 Residential Zoning District to be located within the site of an existing church.
- The tower will be located adjacent to the eastern edge of the church parking lot within a defined lease area measuring 31.15' x 46'.
- Within the leased area, there will be an 8'-7" tall masonry wall erected to screen the Telecommunications Tower base, equipment cabinets and a backup generator contained within a 24'-8" x 30'-8" walled area.
- The exterior screening wall surface will have the same brick veneer as existing church buildings. The equipment within the screening wall will have a feature identified as an ice canopy. The canopy

STAFF REPORT

will shield the equipment from falling winter ice. Staff recommend allowing a greater wall height than a maximum 6' fence height. The structure is neither fence nor building and its purpose includes a measure of safety.

- An architectural cross feature is proposed to be affixed to the top of the Telecommunication Tower structure. The cross will be the same design and material as the cross on top of the primary existing church building on site. The height of the tower for the functional portion of the tower will be 75'. The cross and tower together will reach a height of 87.6'.
- The placement of the tower allows for increased capacity of the Verizon Wireless network to improve quality, coverage and allow for shared use.
- The applicant provided documentation of FAA compliance.
- Overall, the submitted documentation has sufficient detail to allow for the conditional use permit to be considered. Structural and electrical plans will be submitted at the time of the building permit application.
- A conditional use permit agreement is required to be signed prior to issuance of a building permit and may include conditions deemed appropriate by the Commission.

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - a. No concerns noted.
2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - a. No concerns noted.
3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - a. No concerns noted.
4. Utilities, with reference of locations, availability, and compatibility.
 - a. Water Services, Sanitary Sewer, Electrical, Services are shown on the survey provided by the applicant. There is to be no change in underground utilities except for fiber and electrical connections and the placement of the utility boxes for service connections and maintenance.
5. Screening and buffering with reference to type, dimensions, and character.
 - a. The proposed wall treatment meets the screening requirement for an elevated aesthetic as found in section 4-449-A.J.1. a. Screening may be accomplished through architectural or vegetative materials and 4-449-A.J.1: All walls and fences shall be architecturally harmonious with the principal building.
 - b. The exterior of the walls will be the same brick veneer as the existing church façade.
6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - a. Not applicable.
7. Required yards and other open space.
 - a. Telecommunication towers are required to be set back from the public right of way a minimum distance equal to one half the height of the tower including all antennas and attachments. This requirement is met.

STAFF REPORT

8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - a. No concerns noted.
9. General compatibility with adjacent properties and other properties in the district.
 - a. No concerns noted.

NOTICES:

Sent to:	Property owners within 150' and applicable agencies and departments
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Comments Received:

- An area property owner called asking for more information regarding the proposed use. He wished the applicant to know the tower should be located to the north in commercial and industrial areas.
- An email was received from a property owner to the south noting disagreement with the project occurring on residential land, concern with potential decrease in home value and concerns for health effect for residents living within one quarter mile of the tower. Email is attached.

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- West Fargo 2.0 identifies this area as G-2 Sub Urban Growth Sector. The comprehensive plan does not prohibit or encourage the construction of telecommunications towers within West Fargo.
- The Conditional Use Process is in place for this type of application and future use.

PLANNING AND ZONING RECOMMENDATION:

It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. A Signed Conditional Use Permit Agreement is received.
2. The required engineering report demonstrating structural and electrical standards will be submitted prior to issuance of a building permit.

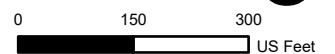
Attachments

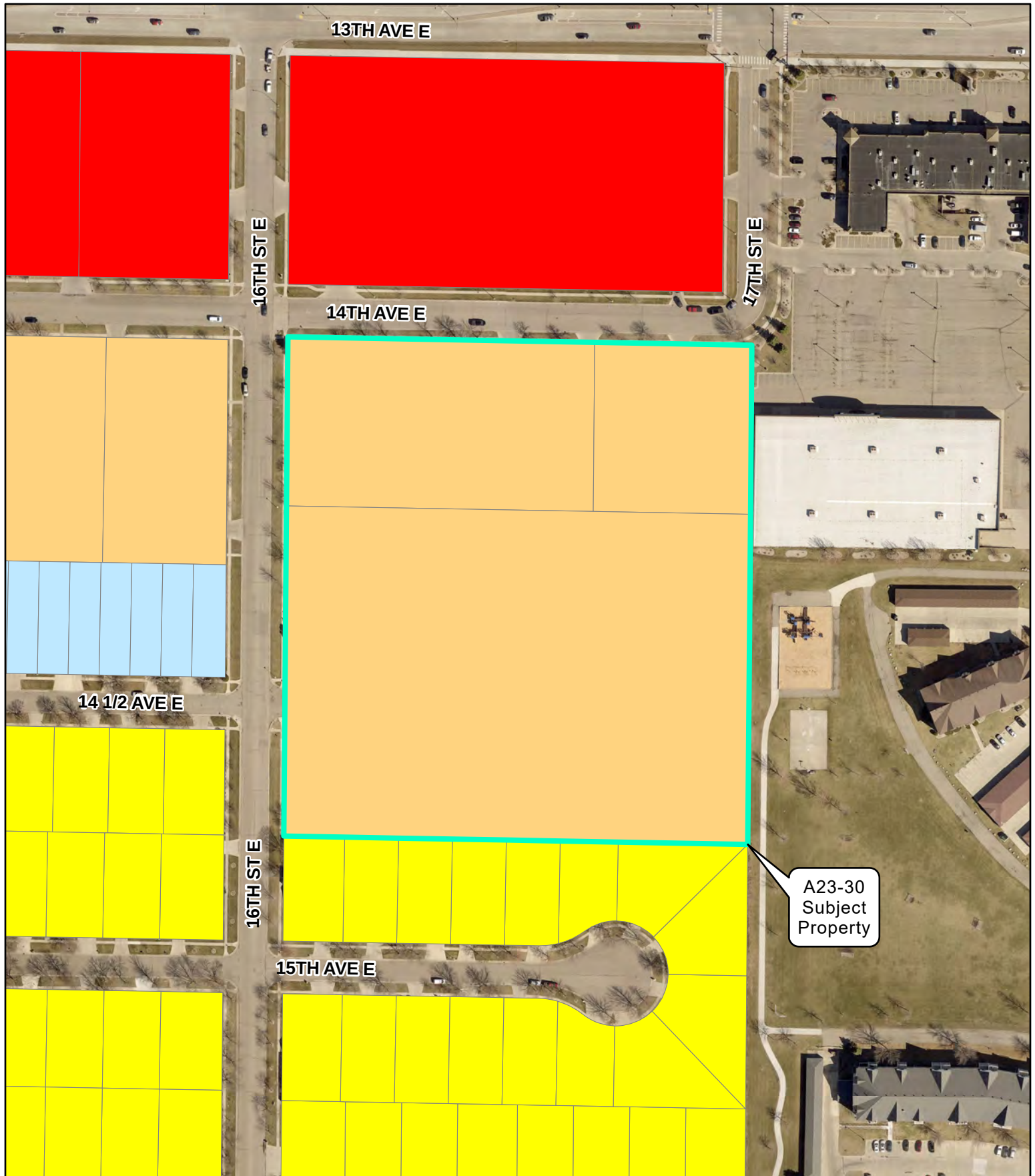
1. Aerial Location map
2. Zoning map
3. Applicant's Narrative letter
4. Site Plan and Design Details
5. Photo Simulations
6. RF Letters
7. Lease Area and Easement Legal Descriptions
8. Collocation Letter
9. TOWAIR Finding Letter
10. Location Justification Letter
11. Public Comment



Features

- Agenda Zone
- Lots
- Tower Location





West Fargo Zoning

- A: Agricultural
- C: Light Commercial
- C-OP: Commercial Office Park
- DMU: Downtown Mixed Use
- EMU: Entertainment Mixed Use
- HC: Heavy Commercial

- LI: Light Industrial
- M: Heavy Industrial
- P: Public
- PUD: Planned Unit Development
- R-L1A: Large Lot Single Family Dwelling
- R-1A: Single Family Dwelling
- R-1: One and Two Family Dwelling

- R-1SM: Mixed One and Two Family Dwelling
- R-2: Limited Multiple Dwelling
- R-3: Multiple Dwelling
- R-4: Mobile Home
- R-5: Manufactured Home Subdivision
- R-1E: Rural Estate
- R-R: Rural Residential

0 150 300 US Feet





BUELL CONSULTING, INC.
720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
www.buellconsulting.com

November 15, 2023

Aaron Nelson
City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

Re: Verizon Wireless Application For Conditional Use Permit [New Camouflaged Wireless Communications Tower (cross tower) at Lutheran Church of the Cross]

Dear Mr. Nelson and Staff,

Buell Consulting Inc. is working on behalf of Verizon Wireless to perform site acquisition services, which includes leasing, zoning and permitting. The proposed installation of a new camouflaged wireless telecommunications tower described herein is in a City of West Fargo (R-3) Multiple Dwelling Zoning District and is located at: Lutheran Church of the Cross, 1402 16th Street E., with a legal description of: *Lots 1 and 3 in Block Two of Tintes Land Co. Fifteenth Addition to the City of West Fargo, situated in the County of Cass and the State of North Dakota.*

Pursuant to City ordinance 4-449.3.b.(2), Verizon Wireless is requesting approval to construct a new 75' tall unipole type tower with a four sided cross on top increasing the overall height to 87' 6". The cross will match an existing cross located in front of the Lutheran Church of the Cross on the church's bell tower. Within the 31.15'X46' lease area, equipment cabinets and a backup generator are proposed within a 24' 8"X30' 8" enclosure with an 8' 7" tall masonry wall with brick veneer to match existing on the church building. The height of the enclosure is designed to screen the equipment as well as the ice canopy that will be over the equipment.

Verizon Wireless is requesting a waiver of landscaping due to the lease area's enclosure screening mimicking the church building as well as the approximate 250' setback from the nearest street.

The City of Fargo Public Works Department was contacted regarding the storm sewer catch basin in the vicinity of the proposed lease area. Engineering representative Jody Bertrand indicated The City of Fargo would not require any documentation.

Verizon Wireless and its engineer have decided bollards are not needed around the enclosure.

The proposed site is needed for increased capacity for the Verizon Wireless network in the West Fargo area. Verizon Wireless, like other wireless providers in the community, continually strives to improve the quality and coverage of their service areas by adding additional communication facilities where they currently need to meet increased demand from their customers.



BUELL CONSULTING, INC.
720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
www.buellconsulting.com

Property Owner: Lutheran Church of the Cross

Parcel Number(s): 02296500040000 (tower site – Lot 3) & 02296500020000 (site access – Lot 1)

Legal Description: Lots 1 and 3 in Block Two of Tintes Land Co. Fifteenth Addition to the City of West Fargo, situated in the County of Cass and the State of North Dakota.

Proposed location: behind 1402 16th Street E., West Fargo, ND 58078

Applicant Information: Verizon Wireless

Applicant's Agent:

Buell Consulting, Inc.

720 Main Street, #200

St. Paul, MN 55118

Site Development Agent: Woody Krog

Email: wkrog@buellconsulting.com

Cell: 504.259.9663

Verizon Wireless FCC License.

The proposed Verizon Wireless communications services will not interfere with any public safety communications. First and foremost, interference issues are the providence and domain of the Federal Communications Commission. Licensees of the FCC, as a part of the issuance of a license and compliance with FCC rules and regulations are not allowed to interfere with other licensees whose frequencies are under the jurisdiction of the FCC.

CONCLUSION

As indicated above, the establishment of this telecommunication facility will not be detrimental to the public health, safety or welfare of persons residing or working in the neighborhood, or be materially injurious to the neighborhood, or the general welfare of the City of Pierre and Hughes County. The proposed facility will not place any burden on traffic, nor will it result in objectionable levels of noise, odor, dust or dirt.

The proposed facility will be an important link to the Verizon Wireless communications infrastructure. Individuals and businesses will be able to access wireless communications to operate and expand their businesses, provide personal convenience or to strengthen personal safety and the ability to communicate on demand with business, government, family and friends.

In addition, the frequencies used are well below the threshold and within the parameters established by the FCC. The proposed Verizon Wireless facility will not interfere with any police, fire or emergency communications or nearby televisions or radios due to the separation in the frequency ranges used by Verizon Wireless and from those used by other communication devices. The FCC controls and regulates the operation of all the telecommunication equipment and devices to be used at this proposed facility. The proposed facility will conform to all FCC standards and regulations.



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Enclosures:

- 1) Completed Application for Conditional Use Permit
- 2) Zoning Drawings including Land Survey
- 3) Photo-simulations
- 4) Letters from Verizon addressing Emissions, Interference and Collocation Radius
- 5) Legal Descriptions of Lease Area and Easements
- 6) Letter from Verizon acknowledging shared use will be allowed
- 7) TOWAIR finding that tower registration is not required/no lights required
- 8) Verizon location justification letter

Respectfully,

Woody Krog

Woody Krog

Enclosures

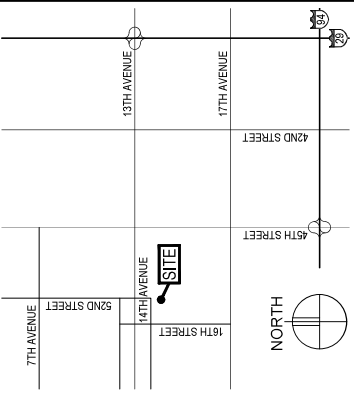


FAR HALFWAY NEW BUILD

PROJECT INFORMATION

SITE NAME: FAR HALFWAY
SITE ADDRESS: 16TH STREET EAST
WEST FARGO, ND 58078
COUNTY: CASS
LATITUDE, PER 1A: N 46° 51' 36.326"
LONGITUDE, PER 1A: W 96° 52' 21.611"
RFD5 DATED: 07-10-23
CONSTRUCTION TYPE: IIB
LESSEE PREMISES AREA: 1422.8 SQUARE FEET
COMPOUND ENCLOSURE AREA: 756.4 SQUARE FEET

VICINITY MAP



LOCATION SCAN



SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT TITLE SHEET
A-1	OVERALL PLAN & DETAIL INDEX
A-2	ENLARGED PLAN
A-3	KEYS
A-4	DETAILS
A-5	DETAILS
A-6	SPECIFICATIONS
A-7	PHOTOS
U-1	UTILITIES PLAN
U-2	UTILITIES PLAN
U-3	UTILITIES PLAN
G-1	GROUNDING NOTES, LEGEND & DETAILS
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
V1-V3	SURVEY (THREE SHEETS)

ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW	ALL
B	ISSUED FOR REVIEW	ALL
C	REVISED LESSEE UTILITIES EASEMENT	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	SHADY HANNA	06-06-23
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER	MICHAEL THIEL	06-06-23

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE
LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW		
☐ NO CHANGES, ☐ CHANGES NEEDED, SEE COMMENTS.		

CONTACTS

LESSOR: LUTHERAN CHURCH OF THE CROSS
16TH STREET EAST
WEST FARGO, ND 58078
JOEL BARANKO, PASTOR
(701) 282-2514

LESSEE: VERIZON WIRELESS
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
CONSTRUCTION DEPARTMENT
(952) 946-4700

POWER UTILITY: CASS COUNTY ELECTRIC COOP
4100 32ND AVENUE SW
FARGO, ND 58104
RYAN SOYRING
(701) 356-4457

TELCO UTILITY: TO BE DETERMINED

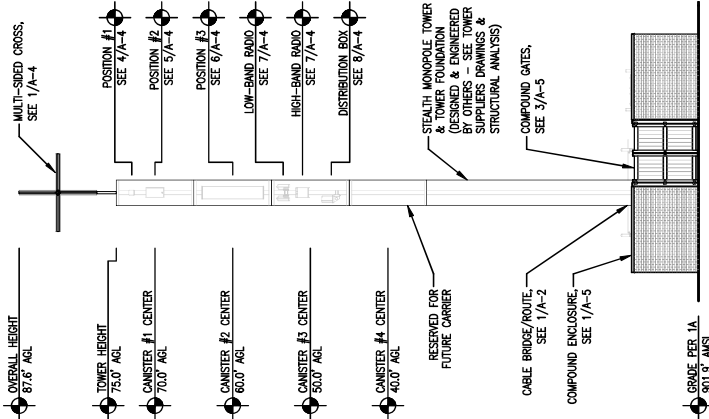
DESIGNER: DESIGN 1 OF EDEN PRAIRIE
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
MAIN DESK
(952) 903-4269

SURVEYOR: MEAD & HUNT
2500 UNIVERSITY DRIVE NORTH
FARGO, ND 58102
MAIN DESK
(701) 566-6460

GEOTECHNICAL ENGINEER: TO BE DETERMINED
STRUCTURAL ENGINEER: TO BE DETERMINED

TOWER ELEVATION

- NOTE:
- NO STRUCTURAL DESIGN FOR THE TOWER OR TOWER FOUNDATION HAS BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL DESIGN FOR THE TOWER AND TOWER FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
 - THE DESIGNER MAKES NO WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.
 - TOWER TO BE ERRECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.
 - TOWER TO BE PAINTED TO MATCH THE TOWER MANUFACTURER WITH THE FOLLOWING:
 - TOWER PAINT COLOR, SHERWIN WILLIAMS #SW7006 "EXTRA WHITE".
 - CANISTER #1 & #3 TO BE VENTED.
 - CANISTER #2 & #4 TO BE NON-VENTED.
 - CANISTERS COLOR TO MATCH PAINTED TOWER COLOR.
 - MULTI-SIDED GROSS.
 - MULTI-SIDED GROSS TO BE PAINTED.
 - MULTI-SIDED GROSS COLOR, SHERWIN WILLIAMS #SW7048 "URBANE BRONZE".
 - TOWER FOUNDATION, EQUIPMENT CABINET SLAB AND GENERATOR FOUNDATION TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE TOWER SUPPLIER AND THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.
 - TRANSPARENT TOWER ILLUSTRATED WITH INTERIOR ANTENNAS/EQUIPMENT SHOWN FOR REFERENCE ONLY.



HERZOG
ENGINEERING LLC
1334 8th Ave. NE
Spring Lake Park, MN 55432
(612) 844-1734

JOSHUA
HERZOG
PE-7854
DATE: NO. 28-2023
REGISTERED PROFESSIONAL ENGINEER
MINN. 28-2023
JOSHUA HERZOG
24333323 12:25 15-0570

DESIGN 1 OF EDEN PRAIRIE
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-4269
WWW.DESIGN1PE.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT: 207161382772
LOC. CODE: 414478

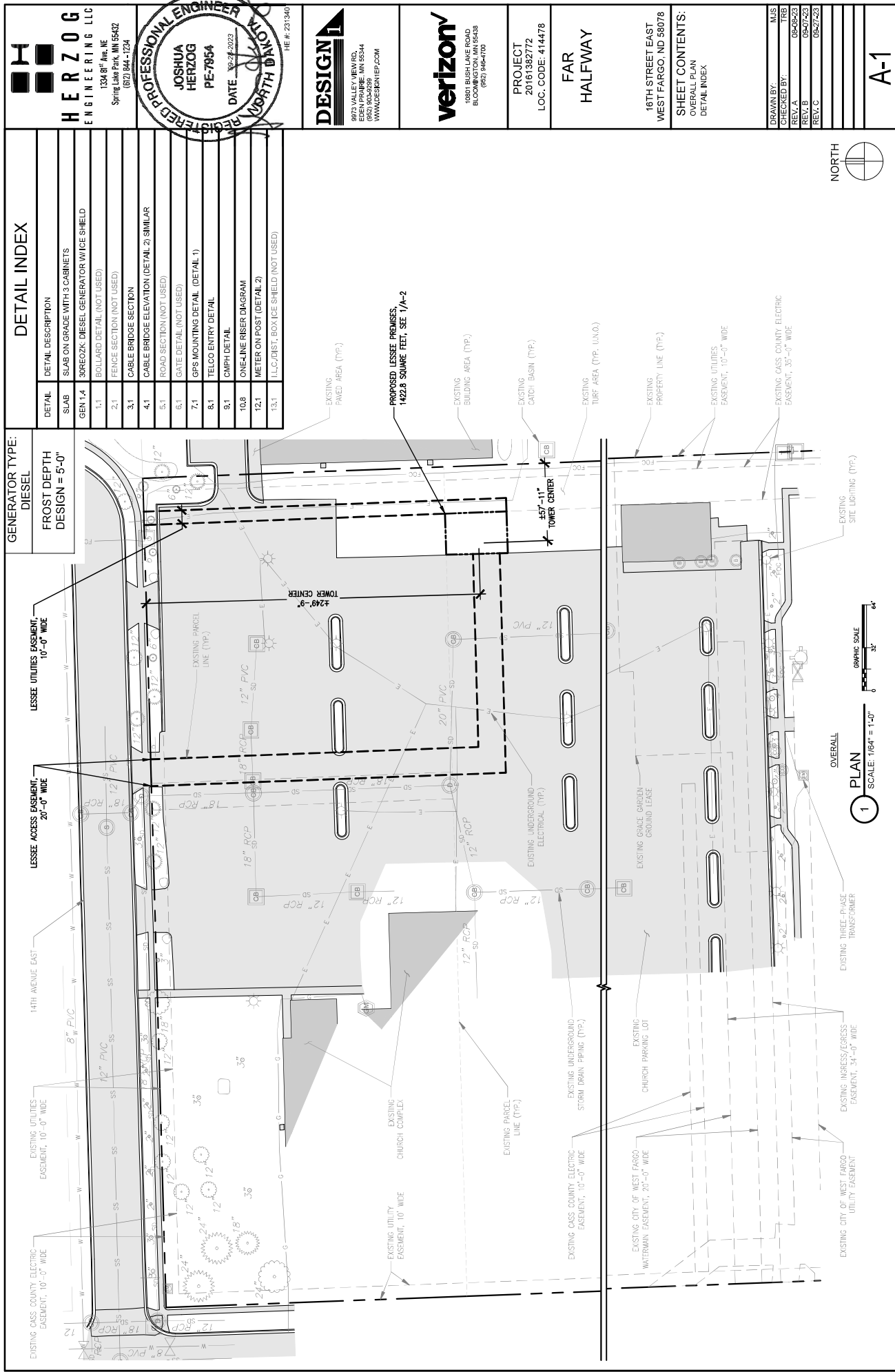
FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
PROJECT INFORMATION
SHEET INDEX
VICINITY MAP
LOCATION SCAN
ISSUE SUMMARY
CONTACTS
TOWER ELEVATION

DRAWN BY:	MJS
CHECKED BY:	TRB
REV. A	06-06-23
REV. B	06-07-23
REV. C	06-07-23

T-1



DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE WITH 3 CABINETS
GEN 1.4	30RECK DIESEL GENERATOR W/ICE SHIELD
1.1	BOLLARD DETAIL (NOT USED)
2.1	FENCE SECTION (NOT USED)
3.1	CABLE BRIDGE SECTION
4.1	CABLE BRIDGE ELEVATION (DETAIL 2) SIMILAR
5.1	ROAD SECTION (NOT USED)
6.1	GATE DETAIL (NOT USED)
7.1	GPS MOUNTING DETAIL (DETAIL 1)
8.1	TELCO ENTRY DETAIL
9.1	CMPH DETAIL
10.8	ONE-LINE RISER DIAGRAM
12.1	METER ON POST (DETAIL 2)
13.1	IL/C/DIST. BOX (ICE SHIELD (NOT USED))

GENERATOR TYPE:	DIESEL
FROST DEPTH	DESIGN = 5'-0"

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE WITH 3 CABINETS
GEN 1.4	30RECK DIESEL GENERATOR W/ICE SHIELD
1.1	BOLLARD DETAIL (NOT USED)
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9.1	CMPH DETAIL
10.8	ONE-LINE RISER DIAGRAM
12.1	METER ON POST (DETAIL 2)
13.1	IL/C/DIST. BOX (ICE SHIELD (NOT USED))

HERZOG
ENGINEERING LLC
1334 8th Ave. NE
Spring Lake Park, MN 55432
(612) 844-1234

REGISTERED PROFESSIONAL ENGINEER
JOSHUA
HERZOG
PE-7854
DATE 10-28-2023
NORTH

DESIGN
9973 VALLEY VIEW RD.
BLOOMINGTON, MN 55444
(652) 903-0266
WWW.DESIGNPE.COM

verizon
10801 BLUSH LAKE ROAD
BLOOMINGTON, MN 55438
(652) 844-4760

PROJECT
20161382772
LOC. CODE: 414478

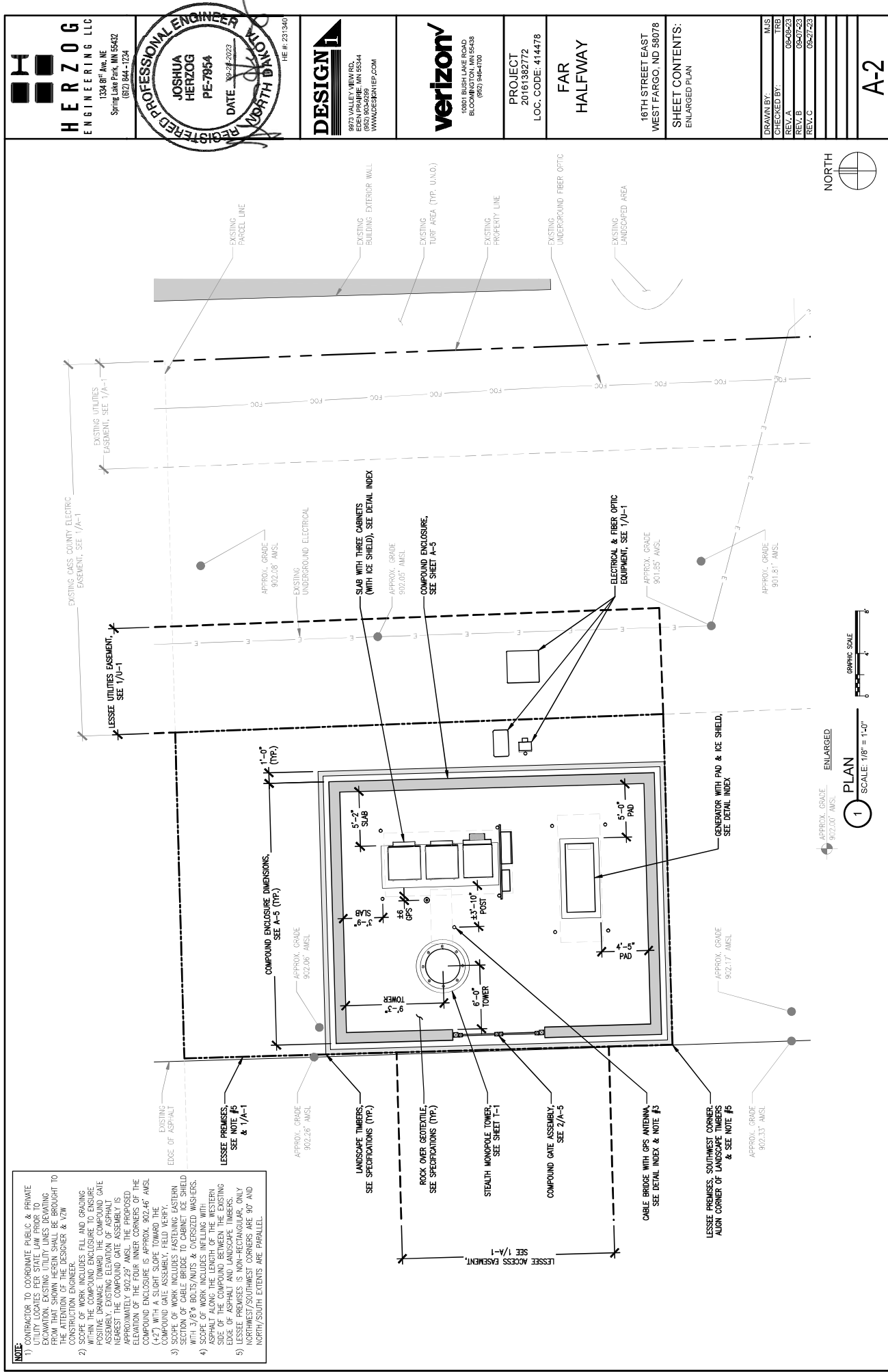
FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
OVERALL PLAN
DETAIL INDEX

DRAWN BY:	MJS
CHECKED BY:	TRB
REV. A	08/08/23
REV. B	09/07/23
REV. C	09/27/23

A-1



- NOTE:**
- 1) CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES DEVIATING FROM THE SHOWN LOCATION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER & NEW CONSTRUCTION ENGINEER.
 - 2) SCOPE OF WORK INCLUDES FILL AND GRAZING WITHIN THE COMPOUND ENCLOSURE TO ENSURE POSITIVE DRAINAGE TOWARD THE COMPOUND GATE ASSEMBLY. THE PROPOSED COMPOUND GATE ASSEMBLY IS APPROXIMATELY 902.29' AMSL. THE PROPOSED ELEVATION OF THE FOUR INNER CORNERS OF THE COMPOUND ENCLOSURE IS APPROX. 902.46' AMSL. (4'-7") WITH A SLIGHT SLOPE TOWARD THE COMPOUND GATE ASSEMBLY. FIELD VERIFY.
 - 3) THE COMPOUND GATE ASSEMBLY IS A CAST-IRON SECTION OF CABLE BRIDGE TO CARBON ICE SHIELD WITH 3/8" BOLTS/NUTS & OVERSIZED WASHERS.
 - 4) SCOPE OF WORK INCLUDES INFILLING WITH ASPHALT ALONG THE LENGTH OF THE WESTERN SIDE OF THE COMPOUND BETWEEN THE EXISTING EDGE OF ASPHALT AND LANDSCAPE TIMBERS.
 - 5) EXISTING LANDSCAPE TIMBERS ARE ONLY NORTHWEST/SOUTHWEST CORNERS ARE 90' AND NORTH/SOUTH EXTENTS ARE PARALLEL.

HERZOG
ENGINEERING LLC
1334 8th Ave. NE
Spring Lake Park, MN 55432
(612) 844-1234

REGISTERED PROFESSIONAL ENGINEER
JOSHUA HERZOG
PE-7854
DATE 06-28-2023
NORTH DAKOTA

DESIGN
9973 ALLEY VIEW RD.
SUITE 100
BLOOMINGTON, MN 55444
WWW.DESIGNHQP.COM

verizon
10801 BLUSH LAKE ROAD
BLOOMINGTON, MN 55438
(651) 494-4130

PROJECT
20161382772
LOC. CODE: 414478

FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
ENLARGED PLAN

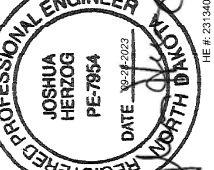
DRAWN BY:	MUS
CHECKED BY:	TRB
REV. A	06/08/23
REV. B	06/07/23
REV. C	06/27/23

A-2

NOTE:
1) LOW-BAND RADIOS TO BE INSTALLED AS FOLLOWS:
• CENTER = 53.5' AGL
• AZIMUTHS = 60° - 180° - 300°
2) HIGH-BAND RADIOS TO BE INSTALLED AS FOLLOWS:
• CENTER = 51.0' AGL
• AZIMUTHS = 0° - 120° - 240°
3) DISTRIBUTION BOX TO BE INSTALLED AS FOLLOWS:
• CENTER = 47.3' AGL
• AZIMUTH = 60°



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JOSHUA
HERZOG
PE-7854
DATE: 06-28-2023
REGISTERED PROFESSIONAL ENGINEER
MINNAPOLIS NORTH DAKOTA
HE # 231340



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PROJECT
20161382772
LOC. CODE: 414478

FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
KEYS

DRAWN BY:	MJS
CHECKED BY:	TRE
REV. A	06/06/23
REV. B	06/07/23
REV. C	06/27/23

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ANTENNA KEY													EQUIPMENT/CABLE KEY																	
AZIMUTH		POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD. TYPE	LENGTH	TIP	CENTER	ELEC. DT	MECH. DT	QTY	DESCRIPTION	TYPE	MANUFACTURER	MODEL													
X-SECTOR													0°	1.0	-	1	ERICSSON	KRE105281/1	CBRS	8"	73.3"	73.0'	8'	0'	1	INTEGRATED POWER FIBER	RADIO JUMPER	ERICSSON COMMSCOPE	#4408 B48 DC #FTL90134/60M #RPM253512/10M	
													0°	2.0	-	1	ERICSSON	AR6419	C-BAND	28"	71.2'	70.0'	0'	0'	1	HYBRID	JUMPER	COMMSCOPE	#HFT410-35B11-G-30	
													0°	3.1	TX/RX1	1	JMA	MX12T1B65-01	700/650	96"	64.0'	60.0'	2'	0'	1	LOW-BAND HYBRID COAX	RADIO JUMPER	ERICSSON COMMSCOPE	#4490 (SEE NOTE #1) #HFT410-25B1Y-G-10 #LDF4-50A/8FT	
														3.2	TX/RX2	-	-	-	700/650	-	-	-	-	-	1	HYBRID	JUMPER	ANDREW	-	
														3.3	TX/RX3	-	-	-	700/650	-	-	-	-	-	4	COAX	JUMPER	ANDREW	-	
														3.4	TX/RX4	-	-	-	700/650	-	-	-	-	-	-	-	-	-	-	
														3.5	TX/RX1	-	-	-	PCS	-	-	-	-	-	-	-	-	-	-	
Y-SECTOR													120°	3.6	TX/RX2	-	-	-	PCS	-	-	-	-	-	-	-	-	-	-	-
													120°	3.7	TX/RX3	-	-	-	PCS	-	-	-	-	-	-	-	-	-	-	-
													120°	3.8	TX/RX4	-	-	-	PCS	-	-	-	-	-	-	-	-	-	-	-
													120°	3.9	TX/RX1	-	-	-	AMS	-	-	-	-	-	1	HIGH-BAND HYBRID COAX	RADIO JUMPER	ERICSSON COMMSCOPE	#4490 (SEE NOTE #2) #HFT410-25B1Y-G-10 #LDF4-50A/10FT	
													120°	3.10	TX/RX2	-	-	-	AMS	-	-	-	-	-	8	COAX	JUMPER	ANDREW	-	
													120°	3.11	TX/RX3	-	-	-	AMS	-	-	-	-	-	-	-	-	-	-	-
													120°	3.12	TX/RX4	-	-	-	AMS	-	-	-	-	-	-	-	-	-	-	-
Z-SECTOR													240°	1.0	-	1	ERICSSON	KRE105281/1	CBRS	8"	73.3"	73.0'	8'	0'	1	INTEGRATED POWER FIBER	RADIO JUMPER	ERICSSON COMMSCOPE	#4408 B48 DC #FTL90134/60M #RPM253512/10M	
													240°	2.0	-	1	ERICSSON	AR6419	C-BAND	28"	71.2'	70.0'	3'	0'	1	HYBRID	JUMPER	COMMSCOPE	#HFT410-35B11-G-30	
													240°	3.1	TX/RX1	1	JMA	MX12T1B65-01	700/650	96"	64.0'	60.0'	2'	0'	1	LOW-BAND HYBRID COAX	RADIO JUMPER	ERICSSON COMMSCOPE	#4490 (SEE NOTE #1) #HFT410-25B1Y-G-10 #LDF4-50A/8FT	
														3.2	TX/RX2	-	-	-	700/650	-	-	-	-	-	1	HYBRID	JUMPER	ANDREW	-	
														3.3	TX/RX3	-	-	-	700/650	-	-	-	-	-	4	COAX	JUMPER	ANDREW	-	
														3.4	TX/RX4	-	-	-	700/650	-	-	-	-	-	-	-	-	-	-	
														3.5	TX/RX1	-	-	-	PCS	-	-	-	-	-	-	-	-	-	-	
CABLE LENGTH CALCULATION FOR REFERENCE ONLY:													16'	HORIZONTAL			=	48'	VERTICAL			=	6'	TOTAL			=	70'		

ADDITIONAL PROPOSED UNLESS NOTED OTHERWISE:

(1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNIT (IN CABINETS, SEE 1/A-2)

(5) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINETS, SEE 1/A-2)

(1) DISTRIBUTION BOX, RANCP #R000C-4020-4P-48 (IN CABINETS, SEE 1/A-2)

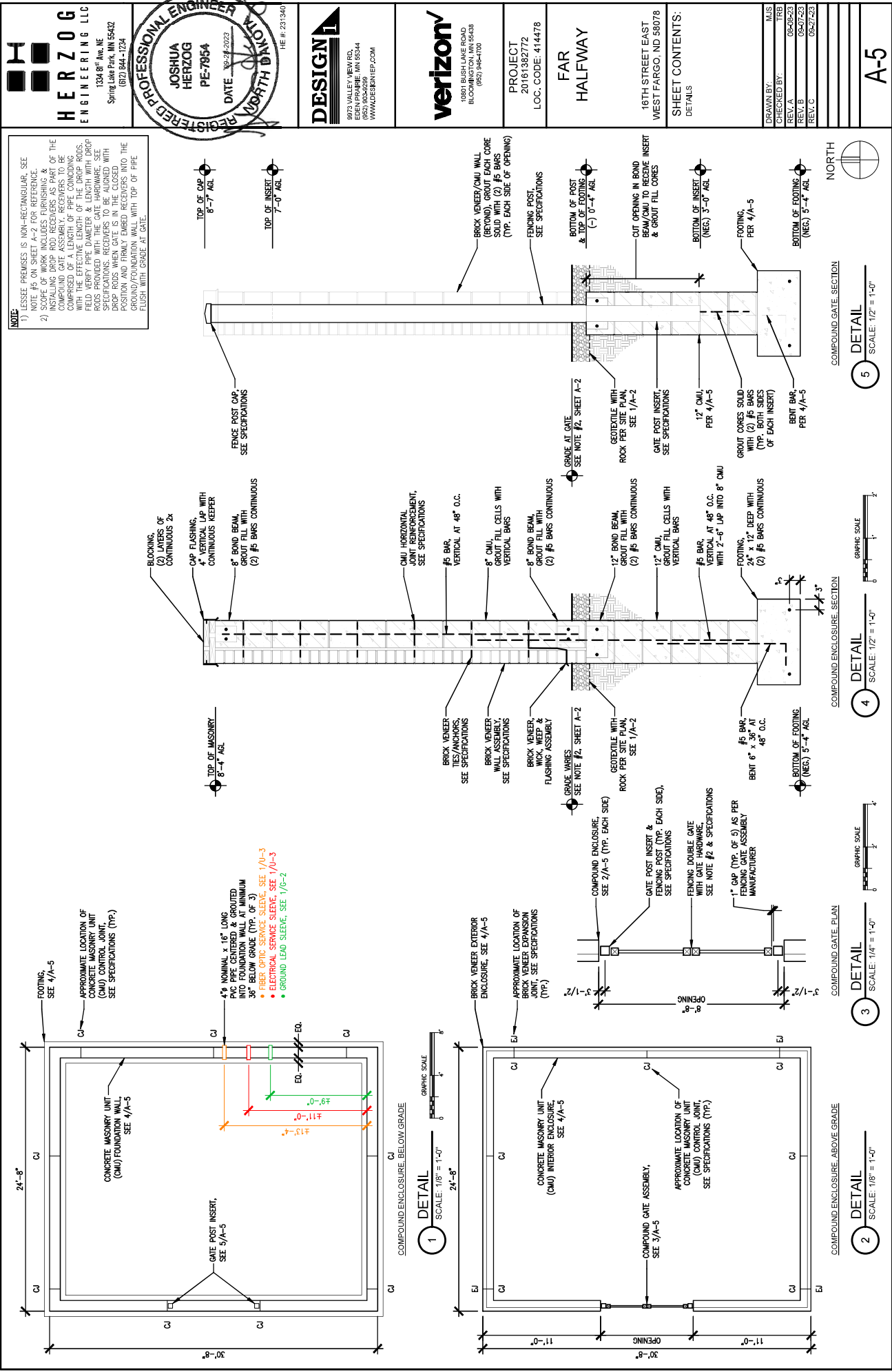
(2) HYBRID CABLE, COMMSCOPE #HFT1206-245A4-G-070 (CABINET-10-TOWER, SEE 1/A-2)

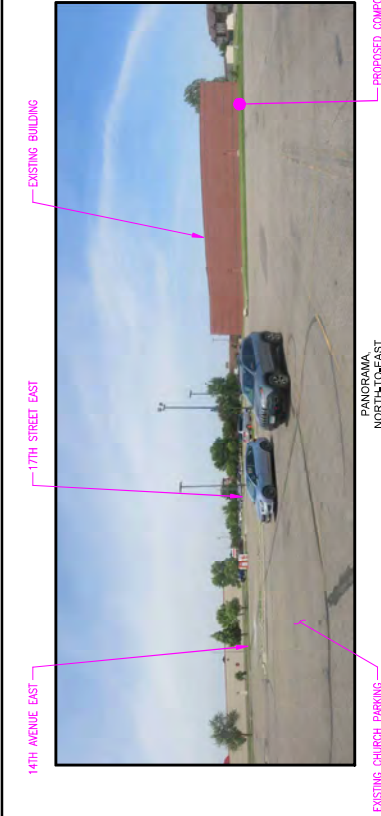
(1) DISTRIBUTION BOX, RANCP #R000C-6627-4P-48 (ON TOWER, SEE NOTE #5)

CABLE LENGTH CALCULATION FOR RETIREMENT UNIT:			
HORIZONTAL	=	15	
VERTICAL	=	45	
TOTAL	=	70	

ADDITIONAL PROPOSED UNLESS NOTED OTHERWISE:
(1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNIT (IN CABINETS, SEE 1/A-2)
(2) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINETS, SEE 1/A-2)
(3) DISTRIBUTION BOX, RAYCAP #R00DC-4520-PF-48 (IN CABINETS, SEE 1/A-2)
(4) DISTRIBUTION BOX, RAYCAP #R00DC-4520-PF-48 (IN CABINETS, SEE 1/A-2)
(5) DISTRIBUTION BOX, RAYCAP #R00DC-6627-PF-48 (ON TOWER, SEE NOTE #3)

1 KEYS





EXISTING CHURCH PARKING

EXISTING BUILDING

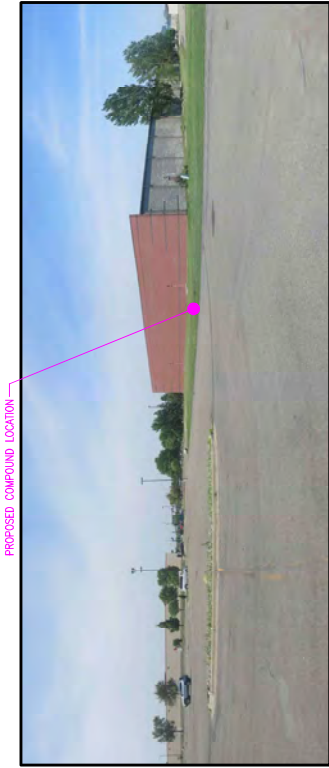
17TH STREET EAST

PROPOSED COMPOUND LOCATION

1
PHOTO
SCALE: NONE

4
PHOTO
SCALE: NONE

PANORAMA
WEST TO EAST

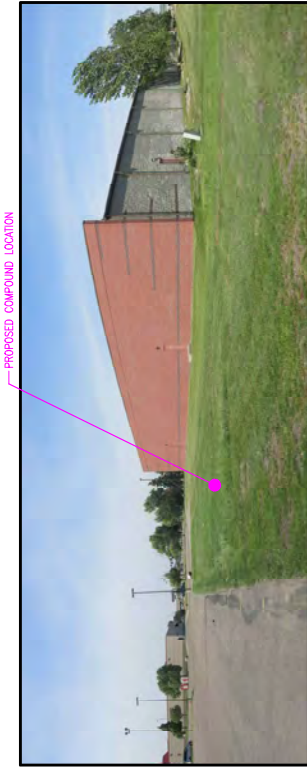


PROPOSED COMPOUND LOCATION

2
PHOTO
SCALE: NONE

5
PHOTO
SCALE: NONE

PANORAMA
WEST TO EAST



PROPOSED COMPOUND LOCATION

3
PHOTO
SCALE: NONE

6
PHOTO
SCALE: NONE

7
PHOTO
SCALE: NONE

PANORAMA
WEST TO EAST



EXISTING CHURCH COMPLEX

PROPOSED COMPOUND LOCATION



PROPOSED COMPOUND LOCATION



EXISTING WHITE TRAMWORK

EXISTING HERBON BRICKWORK

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PROJECT
20161382772
LOC. CODE: 414478

FAR
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16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
PHOTOS

DRAWN BY:	MUS
CHECKED BY:	TRB
REV. A	08-08-23
REV. B	09-07-23
REV. C	09-27-23

A-7

NOTE:
1) CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES DEVIATING FROM STANDARD LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER & TYPED BY THE DESIGNER.

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PROJECT
20161382772
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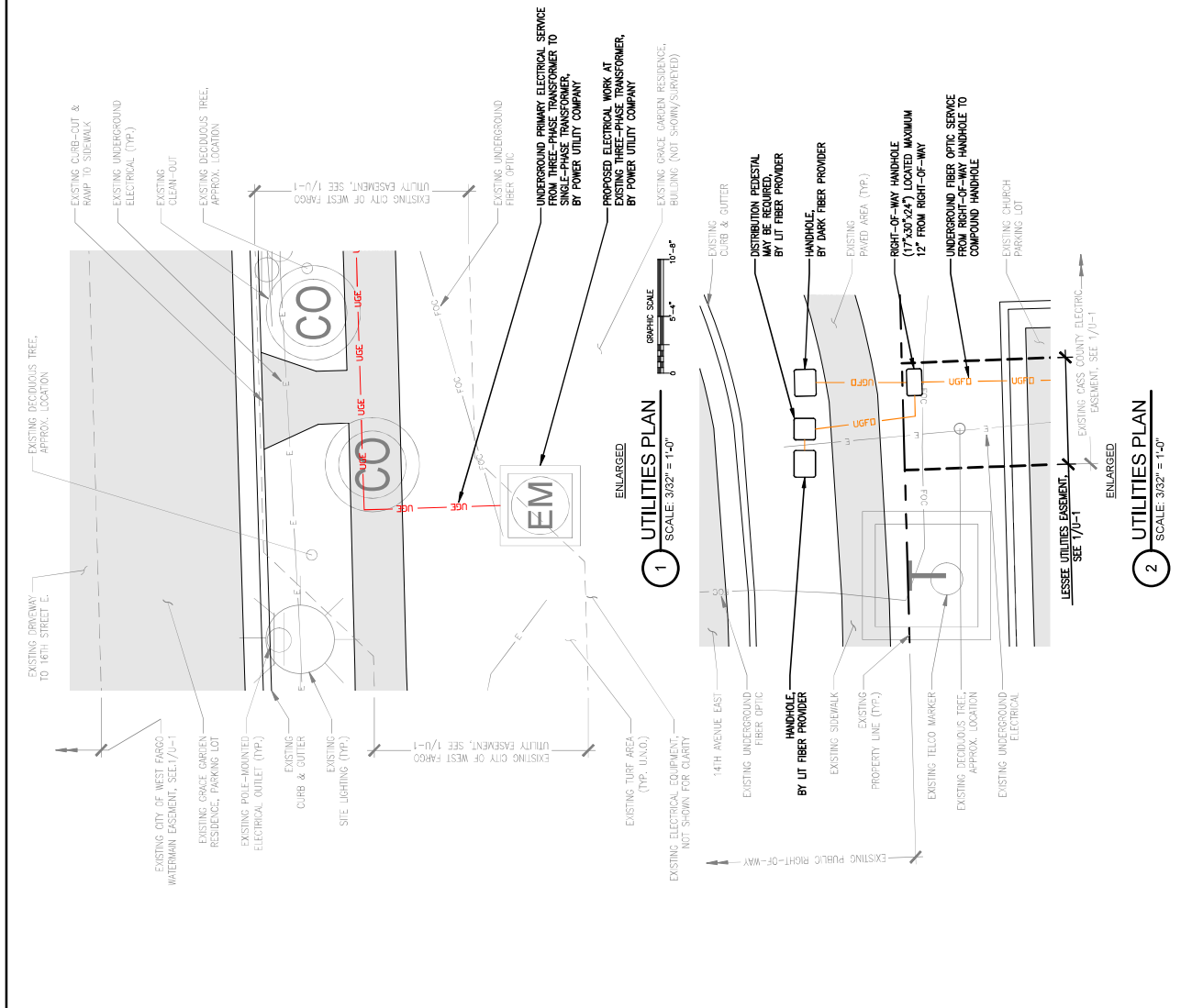
FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
UTILITIES PLAN

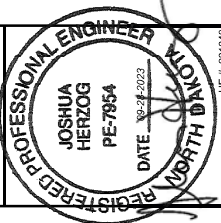
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REV. A	08-08-23
REV. B	09-07-23
REV. C	09-27-23

U-2





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20161382772
LOC. CODE: 414478

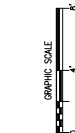
FAR HALFWAY

16TH STREET EAST
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SHEET CONTENTS:
UTILITIES PLAN

DRAWN BY:	MJS
CHECKED BY:	TRB
REV. A	08-08-23
REV. B	09-07-23
REV. C	09-27-23

U-3



ENLARGED

UTILITIES PLAN

SCALE: 1/8" = 1'-0"

NOTE:

- 1) CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES BEING REMOVED SHALL BE IDENTIFIED AND MARKED FROM THAT SHOW HEREIN SHALL BE DELETED TO THE DESIGNER & YES CONSTRUCTION ENGINEER.
- 2) SCOPE OF WORK INCLUDES UTILIZING SLEEVES IN COMPOUND ENCLOSURE FURNISHING/INSTALLING UTILITY PENETRATIONS, TYP. OF 2" (1/16 CHASE).
- 3) SCOPE OF WORK INCLUDES ALL TALL WALLS (1/16 CHASE) & RELATED ESSENTIALS BY POWER (1/16 CHASE).
- 4) SCOPE OF WORK INCLUDES FURNISHING/INSTALLING UNDERGROUND SECONDARY ELECTRICAL SERVICE FROM TRANSFORMER TO THE MAIN ELECTRICAL PANEL, TO SINGLE-PHASE TRANSFORMER PROVIDE 3'-0" TALL AT THE RIGHT FRONT OF THE TRANSFORMER PER POWER UTILITY COMPANY REQUIREMENTS. ALL WORKMAN ORIENTATION, REQUIRED PER POWER UTILITY COMPANY. SEE SPECIFICATION 02.7600 ON SHEET A-6 FOR REQUIRED CONDUIT SIZE.
- 5) SCOPE OF WORK INCLUDES FURNISHING/INSTALLING CONDUIT FROM TRANSFORMER TO THE MAIN ELECTRICAL PANEL DISCONNECT AS PER DETAIL HEREIN. CONDUIT SHALL BE LABELED "VEREXON WIRELESS" AND LABELED WITH THE E911 ADDRESS NOTED HEREIN. REQUIRED CONDUIT SIZE DIVERS FROM DETAIL INDEX CONDUIT SIZE. SEE SPECIFICATION 02.7600 ON SHEET A-6 FOR REQUIRED CONDUIT SIZE.

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment shelter and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment shelter, a separate Lead 1 shall be established around each foundation, and the tower Lead 1 shall be bonded with two parallel leads at least 6 feet apart. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compounds. Slaggrade connections shall ~~not~~ be cold galvanic coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bonds shall be minimum 24" radius. 'Whip' lead bonds may be of 12" radius.

Ground rods shall be galvanized steel, 5/8", spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry, if boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be used to be used to bore a hole for ground rod placement. Slurry shall be made from pelletized material (not predrilled) and bentonite powder. Bentonite is provided by Contractor. Contractor shall provide a written specification for the Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues and nutwashers, joined to solid lugs by welding (A625 505KSP-70, 72, 10,000psi tensile (BUNDY Y43C 27C 14E2). Surfaces that are galvanized or coated shall have cooling(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) and shall be replaced with stainless steel washers. All CU bus bars, Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

GROUND BAR LEADS:

Ground bars are isolated electrically from tower bottoms and equipment shelters by their standard mounts. Leads to each equipment shelter shall be installed in accordance with #2 SBTIC, each connected to Lead 1 bi-directionally with #2 SBTIC 'jumpers'. Pairs of #2 SBTIC may be required between ground bars. Leads shall be routed to ground bars as follows:

- The Main Ground Bar (MGB), typically mounted inside on the equipment shelter 'back' wall, or mounted to the equipment platform steel beam (location varies).
- The Main Ground Bars (MGBs), mounted inside and outside on the equipment shelter (location varies).
- The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.
- The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame upper TGBs. All other TGBs are grounded to the common ground, requiring no copper leads between TGBs.

SYMBOL AND NOTE LEGEND:

- #2 SBTIC WHIP LEAD: "Whip" leads shall connect the buried external ground ring to the following items:
 - Monopole Towers:
 - Three whips to flanges on the monopole base, at least 90° apart.
 - Whips to guy anchors, if provided; attach to the baseplate or consult tower manufacturer.
 - Self-Support Towers:
 - Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.
 - Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
 - Guyed Towers:
 - Two whips to flange(s) within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
 - #2 SBTIC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

- ② AC HVAC UNIT
- ②B BC BUILDING CORNER
- ②B BOLLARD
- ② CBS CABLE BRIDGE SUPPORT POST
- ② EL ELECTRICAL SERVICE GROUND
- ② EM COMMERCIAL ELECTRICAL METER
- ② FM GUY ANCHOR PLATE
- ② FP FENCE POST
- ② GEN GENERATOR
- ② GP GATE POST, 3/4" BRAD STRAP TO LEAF
- ② GPS GPS UNIT
- ② GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
- ② HL HOOD OR LOUVER
- ② HC HOOD OF HOFFMAN BOX
- ② LC INTEGRATED LOAD CENTER
- ② MGB MAIN GROUND BAR
- ② MU GENERATOR MUFFLER
- ② PBT PORT GROUND BAR
- ② RBR FOUNDATION REINFORCING
- ② RS ROOF SHIELD
- ② SB STEEL BEAM
- ② SP STEEL POST
- ② STP STEEL PLATFORM
- ② TEL HOFFMAN BOX
- ② TGB TOWER GROUND BAR
- ② TWR TOWER BASE
- ② VP DIESEL FUEL VENT PIPE

- ② SBTIC 'WHIP' LEAD
- ② SBTIC FROM MGB, PGB, OR TGB TO LEAD 1

LEAD IDENTIFICATION & DESCRIPTION:

- 1 RING, EXTERNAL BURIED w/ RODS
- 1A RING, CONCRETE ENCASED
- 2 DEEP ANODE (TO IMPROVE OHMS)
- 3 RING TO BLDG STL FRAME
- 4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1
- 5 NEC 250.66
- 6 (2) SBTIC
- 7 (2) SBTIC
- 8 DEEP ANODE TO MGB
- 9 NEC 250.66
- 10 EXT WATER TO WATER PIPES
- 11 INT WATER PIPE TO MGB
- 12 NSTD33-9
- 13 AC PANEL
- 14 MGB/FGB TO BLDG STL FRAME
- 15 MGB/FGB TO ROOF/WALL MTL PNL
- 16 NOT USED
- 17 MGB/FGB TO FGB-HE SAME FLOOR
- 18 MGB/FGB TO FGB-HE SAME FLOOR
- 19 MGB/FGB TO FGB-HE SAME FLOOR
- 20 MGB/FGB TO BRANCH AC PNL
- 20A NEAREST GRND TO DISCONNECT PNL
- 20B GNB TO AC DISTR PNL
- 21 INTERIOR GREEN HALO
- 21A INT HALO TO EXT MTL
- 21B INT HALO TO EXT MTL
- 22 ROOF TOWER RING TO ROOF GRND
- 23 MGB/FGB TO EXPR, SAME FLOOR
- 23A MGB/FGB TO CYR-HF LINR PROT
- 24 EOPGB TO ASH PROTECTOR ASSEMBLY
- 24A LOWER PROT ASSY TO UPPER

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PROJECT
2016136272
LOC. CODE: 414478

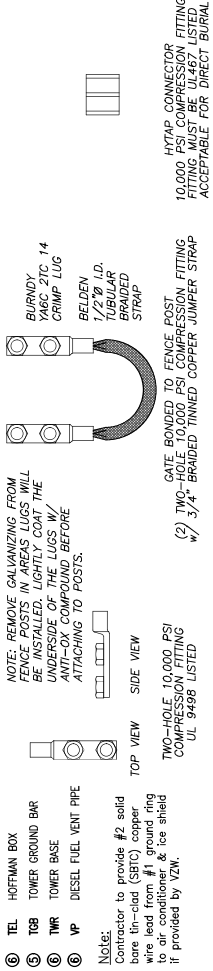
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16TH STREET EAST
WEST FARGO, ND 58078

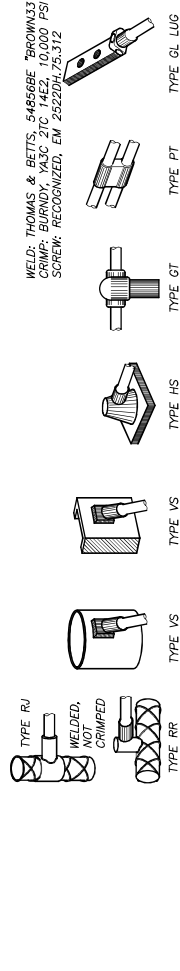
SHEET CONTENTS:
GROUNDING NOTES
GROUNDING DETAILS
GROUNDING DETAILS

DRAWN BY: MUS
CHECKED BY: TRB
REV. A: 06-08-23
REV. B: 06-07-23
REV. C: 06-27-23

G-1



GROUNDING DETAILS



NOTE:
1) GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE VERIZON NETWORK STANDARD NUMBER "NSTD46" DOCUMENT TITLED "CELL SITE AND MICROWAVE RADIO STATION PROTECTION - ENGINEERING CONSIDERATIONS".

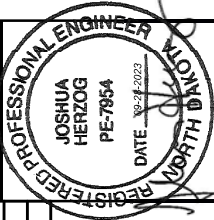
NOTE:

- 1) CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES DEVIATING FROM STANDARD LOCATES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER & NEW CONSTRUCTION ENGINEER.
- 2) CONTRACTOR SHALL ENSURE THAT EACH WHIP IS BENT TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOT BE LESS THAN 12" RADIUS.
- 3) SCOPE OF WORK INCLUDES UTILIZING A SLEEVE IN CONCRETE FOUNDATION WALL FOR GROUND LEAD PENETRATIONS.
- 4) GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE VERIZON NETWORK STANDARD NUMBER "INST44P" DOCUMENT TITLED "CELL SITE AND MICROWAVE RADIO STATION PROTECTION - ENGINEERING CONSIDERATIONS".

GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
11.1	TEST WELL DETAIL GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL #1
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL
SLAB	GROUNDING TYPICAL FOR SLAB WITH 3 CABINETS
GEN	TYPICAL GENERATOR GROUNDING

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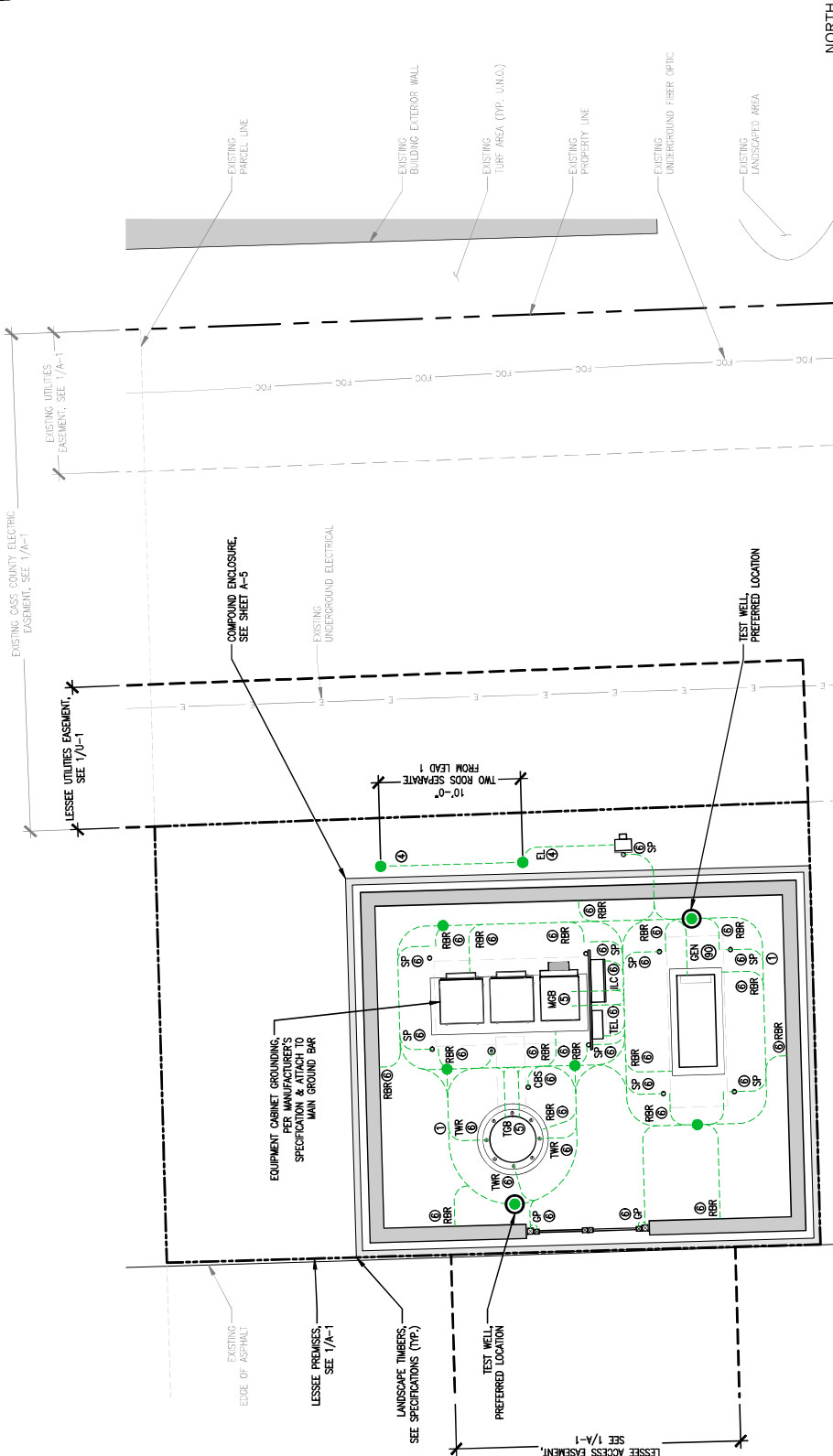
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SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

DRAWN BY: MUS
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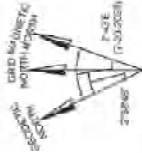


1 GROUNDING PLAN
SCALE: NTS

LEGEND

- Benchmark
- Found Monument
- Deciduous Tree
- Coniferous Tree
- Sanitary Manhole
- Storm Sewer Manhole
- Catch Basin Round
- Catch Basin Square
- Telephone Pedestal
- Telephone Vault
- Light Pole
- Electric Pedestal
- Electric Transformer
- Traffic Sign
- Underground Fiber
- Underground Gas Line
- Underground Electric
- Storm Sewer
- Sanitary Sewer
- Water Line
- Major Contour
- Minor Contour
- Existing Easement Line
- Existing Lot Line
- Concrete
- Asphalt
- Curb Line
- Building
- Lessee Easement
- Lessee Premises

1"=40'

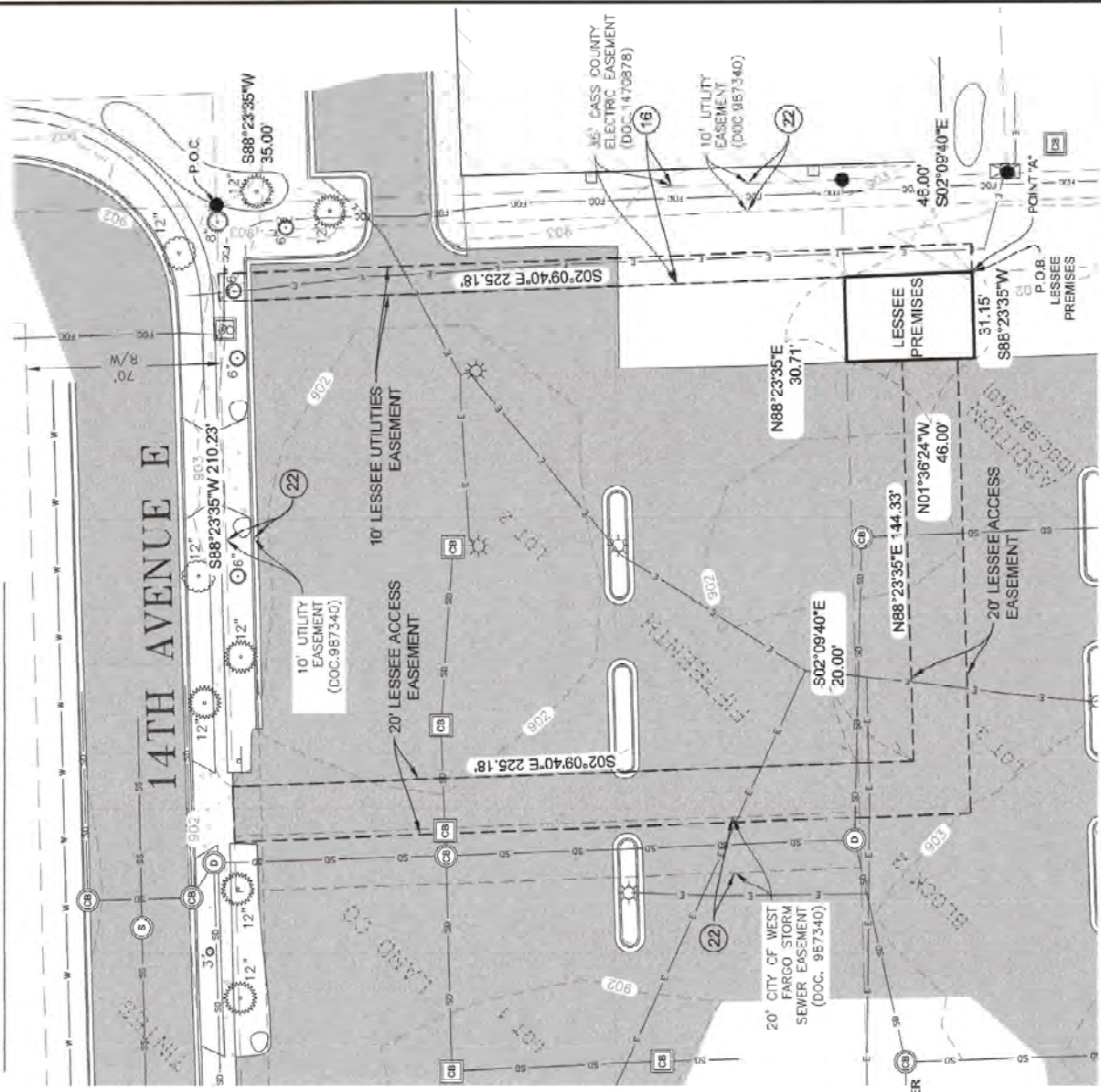


CONVERGENCE ANGLE AND
MAGNETIC DECLINATION AT TOWER
(NOT TO SCALE)

BENCHMARKS

NOTE: All underground utility locations shown herein were either marked by their owners or taken from maps supplied to Mead and Hunt. Mead and Hunt does not certify to the accuracy of these locations. Persons using this survey should contact each utility company to verify that all locations are shown. Person and One Call Records 23071230, 23071219, & 23071231.

CERTIFICATE OF SURVEY



Mead & Hunt
2525 University Dr N
Fargo, ND 58112
Phone: 701-999-4400
meadandhunt.com

THIS CERTIFICATE OF SURVEY IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY RECORD AS FILED IN THE PUBLIC RECORDS OF THE STATE OF NORTH DAKOTA. IT IS HEREBY CERTIFIED THAT THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE NORTH DAKOTA SURVEYING ACT AND THE RULES AND REGULATIONS OF THE NORTH DAKOTA BOARD OF SURVEYING AND MAPPING. THE SURVEYOR'S NAME AND LICENSE NUMBER ARE SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S SIGNATURE AND SEAL ARE ALSO SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S OFFICE ADDRESS IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S PHONE NUMBER IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S FAX NUMBER IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S E-MAIL ADDRESS IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S WEBSITE ADDRESS IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S SOCIAL MEDIA ADDRESSES ARE SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD NUMBER IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD EXPIRATION DATE IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD SECURITY CODE IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD NAME IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD COMPANY IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD TYPE IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD NUMBER IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD EXPIRATION DATE IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD SECURITY CODE IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD NAME IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD COMPANY IS SHOWN ON THIS CERTIFICATE. THE SURVEYOR'S BUSINESS CREDIT CARD TYPE IS SHOWN ON THIS CERTIFICATE.

FAR HALFWAY SITE
1402 16th St E
FARGO, ND
DESIGN 1

- Date of field work: 07/20/2023
- Distances shown are ground distances.
- Contour intervals shown are 1.0'.
- Coordinates: City of Fargo GIS, NAD 83
- US Survey Foot
- Vertical datum: NAVD83

Surveyor: JASON MESS
License No.: LS-6884
Date: 9-16-23

CERTIFICATE OF SURVEY
PART OF INTEREST LAND CO.
JUD. CASE COUNTY, WEST
DAKOTA, NORTH DAKOTA

Sheet No. 1 of 3
V1

CERTIFICATE OF SURVEY

PROPERTY DESCRIPTION (FROM TITLE REPORT)

Lots 1, 2, and 3, in Block Two of Tinties Land Co. Fifteenth Addition to the City of West Fargo, situate in the County of Cass and the State of North Dakota.

LESSEE PREMISES DESCRIPTION

That part of Lot 3, Block 2 of TINTIES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota described as follows:

Commencing at the northeast corner of Lot 2, of said Block 2; thence South 88 degrees 23 minutes 35 seconds West, an assumed bearing on the north line of said Lot 2, 35.00 feet; thence South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 2, a distance of 225.15 feet to the north line of said Lot 3, thence continuing South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 3, a distance of 46.00 feet to a point hereinafter referred to as POINT "A" and the point of beginning; thence South 88 degrees 23 minutes 35 seconds West, parallel with said north line, 31.15 feet; thence North 01 degree 36 minutes 24 seconds West, 46.00 feet to said north line of Lot 3; thence North 88 degrees 23 minutes 35 seconds East, on said north line, 30.71 feet; thence South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 3, a distance of 46.00 feet to the point of beginning.

Containing 1.423 square feet, more or less.

LESSEE 20' ACCESS EASEMENT DESCRIPTION

A strip of land 20.00 feet wide, in part of Lots 1 and 3, Block 2 of TINTIES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota, the left sideline of which, looking in the direction of the traverse, being described as follows:

Commencing at the northeast corner of Lot 2, of said Block 2; thence South 88 degrees 23 minutes 35 seconds West, an assumed bearing on the north line of said Lot 2, a distance of 210.23 feet to the northeast corner of said Lot 1, and the point of beginning; thence South 02 degrees 09 minutes 40 seconds East on the east line of said Lot 1, a distance of 225.15 feet to the southeast corner of said Lot 1; thence continuing South 02 degrees 09 minutes 40 seconds East, on the southerly extension of said east line, 20.00 feet; thence North 88 degrees 23 minutes 35 seconds East, parallel with the north line of said Lot 3, a distance of 144.33 feet to the west line of the hereinbefore described "LESSEE PREMISES" and there terminating.

The sidelines of said strip shall be prolonged or shortened so as to begin on the north line of said Lot 1, meet at angle points, and terminate on the west line of said "LESSEE PREMISES".

Containing 8.188 square feet, more or less.

LESSEE 10' UTILITIES EASEMENT DESCRIPTION

A strip of land 10.00 feet wide, in part of Lots 2 and 3, Block 2 of TINTIES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota, the Westerly sideline being described as follows:

Beginning at the hereinbefore described, "POINT A", thence North 02 degrees 09 minutes 40 seconds West, parallel with and 35.00 feet westerly of the east line of said Lots 2 and 3, a distance of 271.18 feet to the north line of said Lot 2 and sideline there terminating.

The sidelines of said strip shall be prolonged or shortened so as to begin on a line which bears North 88 degrees 23 minutes 35 seconds East, passing through the point of beginning, and terminate on the north line of said Lot 2.

Containing 2.712 square feet, more or less.

SCHEDULE "B" EXCEPTIONS

(TITLE COMMITMENT ORDER NO. 500329471, DATED AUGUST 10, 2023)

- 14 SUBJECT TO RIGHT OF WAY EASEMENT FROM HOLY CROSS CATHOLIC CHURCH TO CASS COUNTY ELECTRIC COOPERATIVE, INC. DATED 5/26/1982 AND RECORDED 2/15/1983 IN BOOK L-9 PAGE 203, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 15 SUBJECT TO RIGHT OF WAY EASEMENT FROM HOLY CROSS CATHOLIC CHURCH TO CASS COUNTY ELECTRIC COOPERATIVE, INC. DATED 5/10/1982 AND RECORDED 2/15/1983 IN BOOK L-9 PAGE 205, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 16 SUBJECT TO RIGHT OF WAY EASEMENT FROM LUTHERAN CHURCH OF THE CROSS TO CASS COUNTY ELECTRIC COOPERATIVE, INC. DATED 2/11/2016 AND RECORDED 2/24/2016 IN DOCUMENT NO. 1470576, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 17 SUBJECT TO PERMANENT EASEMENT BETWEEN LUTHERAN CHURCH OF THE CROSS AND THE CITY OF WEST FARGO, NORTH DAKOTA, DATED 7/9/2018 AND RECORDED 7/20/2018 IN DOCUMENT NO. 1542683, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 18 SUBJECT TO SHORT FORM LEASE BETWEEN LUTHERAN CHURCH OF THE CROSS, WEST FARGO, NORTH DAKOTA AND GRACE GARDEN, LLLP, DATED 7/25/2018 AND RECORDED 7/25/2018 IN DOCUMENT NO. 1543069, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 19 SUBJECT TO DECLARATION OF LAND USE RESTRICTIVE COVENANTS BY GRACE GARDEN, LLLP DATED 7/26/2018 AND RECORDED 7/27/2018 IN DOCUMENT NO. 1543211, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 20 SUBJECT TO DECLARATION OF LAND USE RESTRICTIVE COVENANTS BY GRACE GARDEN, LLLP DATED 7/12/2018 AND RECORDED 7/27/2018 IN DOCUMENT NO. 1543265, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 21 SUBJECT TO DECLARATION OF LAND USE RESTRICTIVE COVENANTS FOR LOW-INCOME HOUSING TAX CREDITS BY GRACE GARDEN, LLLP DATED 10/24/2018 AND RECORDED 10/31/2018 IN DOCUMENT NO. 1575668, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)
- 22 SUBJECT TO ANY MATTERS AS MAY BE SHOWN ON PLAT OF TINTIES LAND CO. FIFTEENTH ADDITION TO THE CITY OF WEST FARGO RECORDED 7/8/2001 IN BOOK S1 PAGE 53, CASS COUNTY RECORDS.
(AS SHOWN ON SURVEY)

CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Professional Land Surveyor under the laws of the State of North Dakota.

JASON NESS, PLS

Reg. No. LS-6884 Date: 9-26-23



FAR HALFWAY SITE
1402 16th St E
FARGO, ND
DESIGN 1

- Date of field work: 07/20/2023
- Distances shown are ground distances.
- Contour intervals shown are 1.0'.
- Coordinate system: NAD 83
- City of Fargo GIS, NAD 83
- US Survey Foot
- Vertical datum: NAVD 86

AMERICAN SURVEYING & MAPPING SOCIETY
NORTH DAKOTA
JASON NESS
LS-6884
DATE 9-26-23

CERTIFICATE OF SURVEY
PART OF TINTIES LAND CO.
AND CASS COUNTY, NORTH DAKOTA
FARGO, NORTH DAKOTA

CERTIFICATE OF SURVEY

Mead & Hunt
 2805 University Dr N
 Fargo, ND 58103
 Phone: 701-564-4469
 meadhunt.com

THIS CERTIFICATE OF SURVEY WAS PREPARED BY MEAD & HUNT, INC. IN ACCORDANCE WITH THE NORTH DAKOTA SURVEYING ACT, CHAPTER 48-02, NDCC. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING IN THE STATE OF NORTH DAKOTA. THE SURVEY WAS COMPLETED ON 09-24-22. THE SURVEYOR'S NAME IS JASON NESS, LICENSE NUMBER LS-5884. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF SURVEYING IN THE STATE OF NORTH DAKOTA. THE SURVEY WAS COMPLETED ON 09-24-22. THE SURVEYOR'S NAME IS JASON NESS, LICENSE NUMBER LS-5884.

FAR HALFWAY SITE
1402 16th St E
FARGO, ND
DESIGN 1

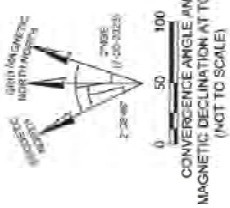
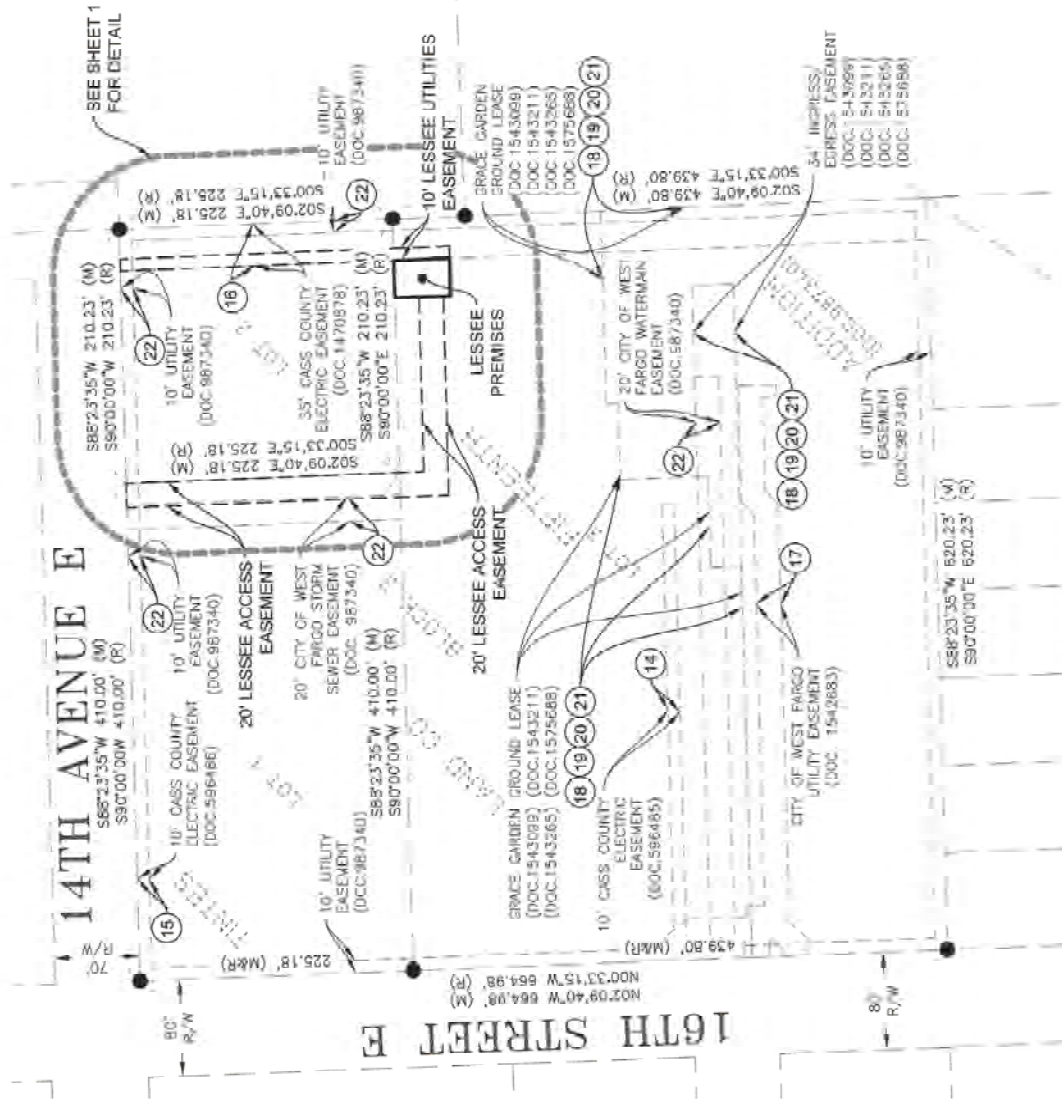
- NOTES:**
- Date of field work 3/7/20/2023
 - Distances shown are ground distances
 - Contour intervals shown are 1.0'
 - Coordinate System: NAD 83
 - City of Fargo GIS
 - US Survey Foot
 - Vertical datum: NAVD 88

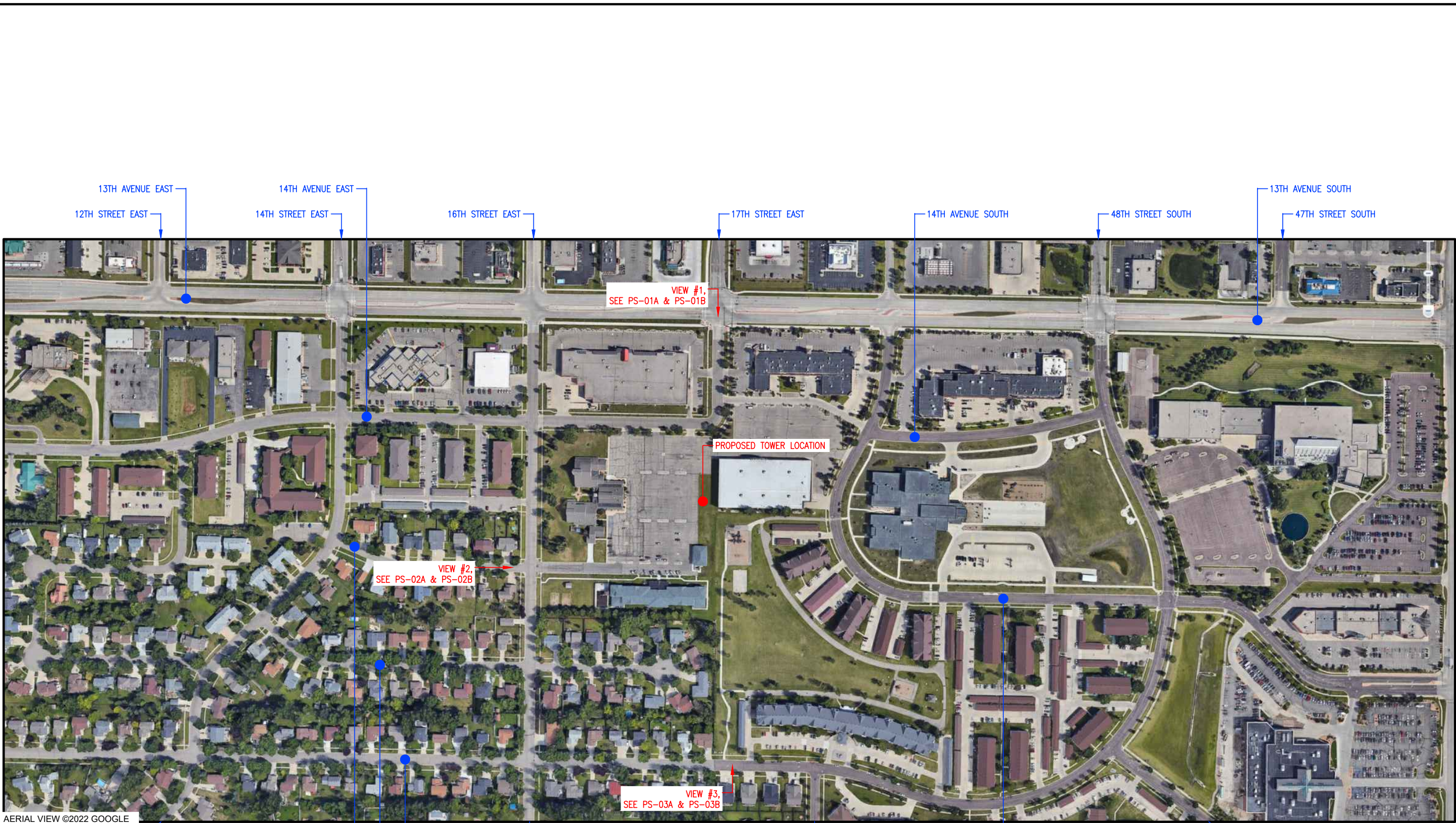
LEGEND

- Existing Easement Line
- Existing Lot Line
- Lessee Easement
- Lessee Premises
- Measured Bearing & Distance
- Record Bearing & Distance

CERTIFICATE OF SURVEY
 PART 37, INTENT LAND CO.
 AND, CASS COUNTY, WEST
 FARGO, NORTH DAKOTA

V3





AERIAL VIEW ©2022 GOOGLE

1 AERIAL KEY



NOT FOR
CONSTRUCTION

DESIGN 1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
20161382772
LOC. CODE: 414478

FAR
HALFWAY

16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
PHOTO SIMULATION

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 12-16-22

PS-0



STREET VIEW ©2022 GOOGLE

1 EXISTING PHOTO

NOT FOR
CONSTRUCTION

DESIGN1

9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
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DRAWN BY: MJS
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v.1 12-16-22

PS-1A



STREET VIEW ©2022 GOOGLE

1

PROPOSED IMAGE

NOT FOR
CONSTRUCTION

DESIGN1

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EDEN PRAIRIE, MN 55344
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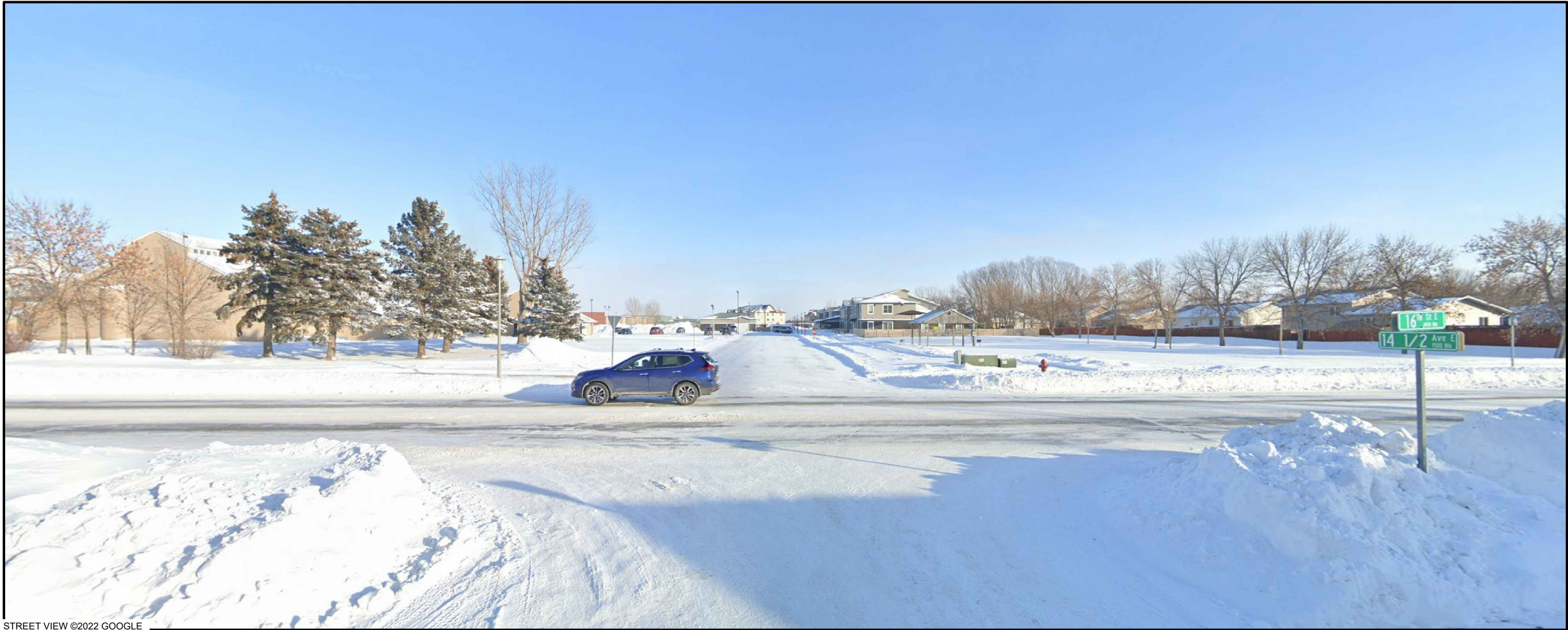
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DRAWN BY: MJS
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v.1 12-16-22

PS-1B



STREET VIEW ©2022 GOOGLE

1

EXISTING PHOTO

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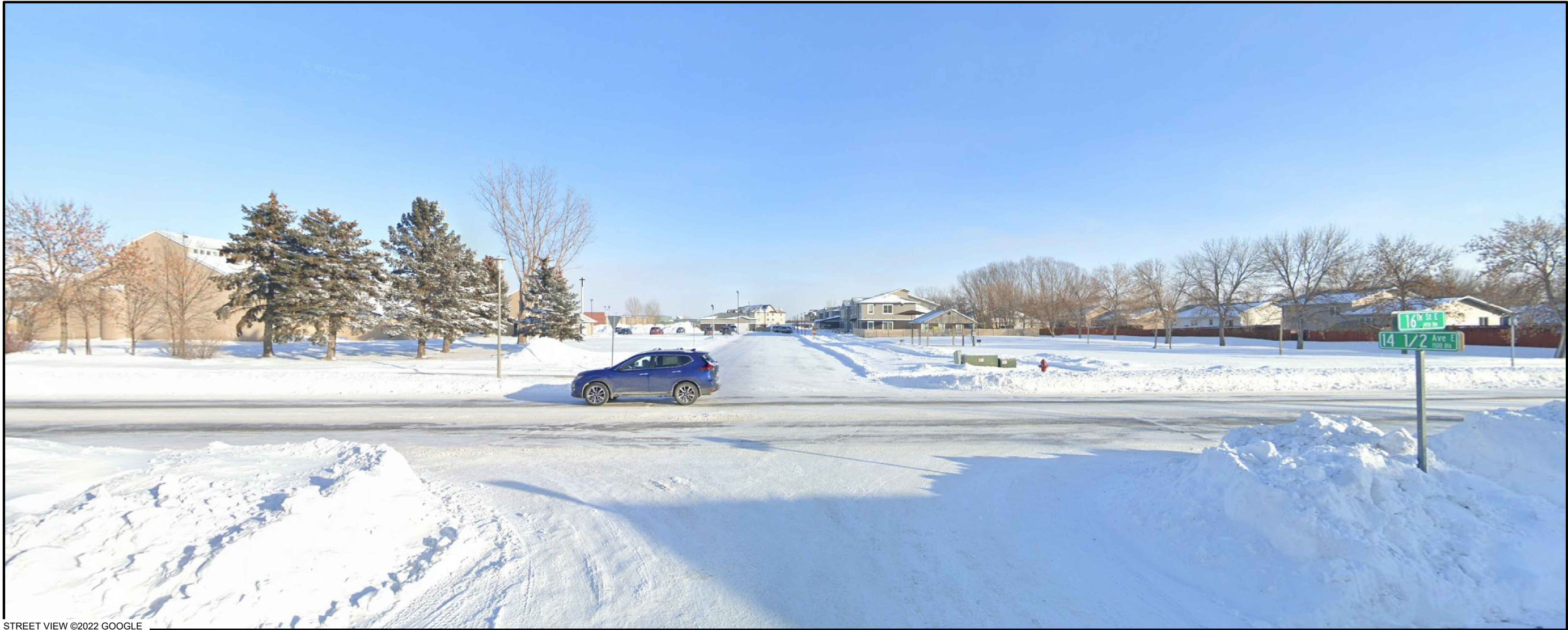
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PS-2A



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1

PROPOSED IMAGE

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CONSTRUCTION

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PROJECT
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16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
PHOTO SIMULATION

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 12-16-22

PS-2B



STREET VIEW ©2022 GOOGLE

1 EXISTING PHOTO

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16TH STREET EAST
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v.1 12-16-22

PS-3A



STREET VIEW ©2022 GOOGLE

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16TH STREET EAST
WEST FARGO, ND 58078

SHEET CONTENTS:
PHOTO SIMULATION

DRAWN BY: MJS
CHECKED BY: JP/TJR
v.1 12-16-22

PS-3B



October 31, 2023

City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

**RE: Proposed Verizon Wireless Communications Facility (Verizon Reference: "FAR Halfway")
Cass County Parcel #02-2965-00040-000 | 1402 16th Street E; West Fargo, ND 58078**

Dear Sir or Ma'am,

We write to inform you that Verizon Wireless has performed a radio frequency (RF) compliance pre-construction evaluation for the above-described proposed site and based on the result of the evaluation, the site will be compliant with FCC Guidelines.

The FCC has established safety rules relating to potential RF exposure from cell sites. The rules are codified at 47 C.F.R. § 1.1310. The FCC provides guidance on how to ensure compliance with its rules in the FCC Office of Engineering and Technology Bulletin 65 (available at https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf). The FCC developed the RF standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The FCC provides information about the safety of radio frequency (RF) emissions from cell towers on its website at: <https://www.fcc.gov/engineering-technology/electromagnetic-compatibility-division/radio-frequency-safety/faq/rf-safety>.

Please refer to the FCC Office of Engineering and Technology Bulletin 65 and the attached Verizon Wireless RF Brochure for information on RF exposure guidelines, RF safety, and landlord responsibilities. Questions related to compliance with federal regulations should be directed to VZWRFCCompliance@VerizonWireless.com

Please contact your local Verizon Wireless resource below if you have additional site-specific questions

Contact Name	Contact Email	Contact Phone
Shady Hanna	Shady.hanna@verizonwireless.com	612-619-1849

Sincerely,

Print Name: Shady Hanna

Title: RF Engineer

Date: 10-31-2023



October 31, 2023

City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

**RE: Proposed Verizon Wireless Communications Facility (Verizon Reference: "FAR Halfway")
Cass County Parcel #02-2965-00040-000 | 1402 16th Street E; West Fargo, ND 58078**

Dear Sir or Ma'am,

Pursuant to City of West Fargo County Zoning Ordinance Section 4-449.16.a.4 (Wireless Telecommunications, Additional Submittal Requirements), the steps taken by Verizon Wireless concerning interference to existing telecommunications devices, services and/or established public safety telecommunications related to Verizon's proposed facility are detailed herein.

Verizon provides Commercial Mobile Radio Services (CMRS) under licenses granted by the Federal Communication Commission (FCC). Pursuant to these licenses, Verizon is authorized to operate its CMRS network in many geographic areas throughout the nation, including the above noted location.

The FCC exclusively regulates all technical aspects of Verizon operations and network and preempts all state and local regulation of radiofrequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference.

The above noted proposed Verizon facility is compliant with all applicable FCC requirements. The points below cover Verizon's practices pertinent to complying with the FCC requirements:

1. Verizon locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems to minimize interference potential.
2. All equipment at the proposed facility is designed and certified to operate within the frequencies licensed to Verizon by the FCC, and to operate in a manner approved by the FCC.
3. The power levels generated by the facility's radios and corresponding effective radiated power (ERP) from the transmitting antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PCS), Part 27 (for 700 MHz, AWS or C-Band), Part 96 (for CBRS), Part 30 (UMFUS/mmWave) or Part 101 (for microwave) of the Commission's Rules.

Verizon is committed to providing state of the art wireless services that benefit your community. In the unlikely event that interference does occur, Verizon agrees to fully cooperate with the entity experiencing interference to identify and correct, to the extent reasonably possible, any issues caused by the Verizon installation.

Please contact your local Verizon resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Shady Hanna	Shady.hanna@verizonwireless.com	612-619-1849

Sincerely,


 Print Name: Shady Hanna
 Title: RF Engineer
 Date: 10-31-2023



October 31, 2023

City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

RE: Proposed Verizon Wireless Communications Facility (Verizon Reference: "FAR Halfway")
Cass County Parcel #02-2965-00040-000 | 1402 16th Street E; West Fargo, ND 58078

Dear Sir or Ma'am,

Pursuant to City of West Fargo County Zoning Ordinance Section 4-449.4.a (Wireless Telecommunications, Co-Location Requirement), please accept this letter detailing why Verizon Wireless is not able to locate its new planned equipment on any existing tower, improved tower or building within a "reasonable" radius of the proposed tower:

- 1) The nearest collocate-able structure is an existing tower at 4417 13th Avenue S; Fargo, ND. However, being 0.6 mile from the proposed new site, it is too far away to provide Verizon's desired coverage in the vicinity of the new site.

Please contact your local Verizon resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Shady Hanna	Shady.hanna@verizonwireless.com	612-619-1849

Sincerely,

Print Name: Shady Hanna

Title: RF Engineer

Date: 10-31-2023

LESSEE PREMISES DESCRIPTION

That part of Lot 3, Block 2 of TINTES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota described as follows:

Commencing at the northeast corner of Lot 2 of said Block 2; thence South 88 degrees 23 minutes 35 seconds West, an assumed bearing on the north line of said Lot 2, 35.00 feet; thence South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 2, a distance of 225.18 feet to the north line of said Lot 3, thence continuing South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 3, a distance of 46.00 feet to a point hereinafter referred to as POINT "A" and the point of beginning; thence South 88 degree 23 minutes 35 seconds West, parallel with said north line, 31.15 feet; thence North 01 degree 36 minutes 24 seconds West, 46.00 feet to said north line of Lot 3; thence North 88 degree 23 minutes 35 seconds East, on said north line, 30.71 feet; thence South 02 degrees 09 minutes 40 seconds East, parallel with and 35.00 feet westerly of the east line of said Lot 3, a distance of 46.00 feet to the point of beginning.

Containing 1,423 square feet, more or less.

LESSEE 20' ACCESS EASEMENT DESCRIPTION

A strip of land 20.00 feet wide, in part of Lots 1 and 3, Block 2 of TINTES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota, the left sideline of which, looking in the direction of the traverse, being described as follows:

Commencing at the northeast corner of Lot 2, of said Block 2; thence South 88 degrees 23 minutes 35 seconds West, an assumed bearing on the north line of said Lot 2, a distance of 210.23 feet to the northeast corner of said Lot 1 and the point of beginning; thence South 02 degrees 09 minutes 40 seconds East on the east line of said Lot 1, a distance of 225.18 feet to the southeast corner of said Lot 1; thence continuing South 02 degrees 09 minutes 40 seconds East, on the southerly extension of said east line, 20.00 feet; thence North 88 degrees 23 minutes 35 seconds East, parallel with the north line of said Lot 3, a distance of 144.33 feet to the west line of the hereinbefore described "LESSEE PREMISES" and there terminating.

The sidelines of said strip shall be prolonged or shortened so as to begin on the north line of said Lot 1, meet at angle points, and terminate on the west line of said "LESSEE PREMISES".

Containing 8,188 square feet, more or less.

LESSEE 10' UTILITIES EASEMENT DESCRIPTION

A strip of land 10.00 feet wide, in part of Lots 2 and 3, Block 2 of TINTES LAND CO. FIFTEENTH ADDITION to the City of West Fargo, Cass County, North Dakota, the Westerly sideline being described as follows:

Beginning at the hereinbefore described, "POINT A"; thence North 02 degrees 09 minutes 40 seconds West, parallel with and 35.00 feet westerly of the east line of said Lots 2 and 3, a distance of 271.18 feet to the north line of said Lot 2 and sideline there terminating.

The sidelines of said strip shall be prolonged or shortened so as to begin on a line which bears North 88 degrees 23 minutes 35 seconds East, passing through the point of beginning, and terminate on the north line of said Lot 2.

Containing 2,712 square feet, more or less.



October 31, 2023

City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

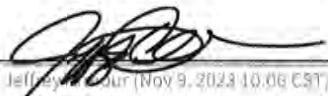
**RE: Proposed Verizon Wireless Communications Facility (Verizon Reference: "FAR Halfway")
Cass County Parcel #02-2965-00040-000 | 1402 16th Street E; West Fargo, ND 58078**

Dear Sir or Ma'am,

Pursuant to the City of West Fargo Zoning Ordinance Section 4-449.16.b, (Wireless Telecommunications, Additional Submittal Requirements), please accept this letter as confirmation that Verizon Wireless and its successors will allow for the shared use of the wireless communications tower proposed for construction on Cass County Parcel #02-2965-00040-000.

Thank you for your support of this project.

Sincerely,


Jeffrey S. Armour (Nov 9, 2023 10:06 CST)
Print Name: Jeffrey S. Armour
Title: Sr. Manager, Network Real Estate
Date: 10/31/2023

TOWAIR Determination Results

A routine check of the coordinates, heights, and structure type you provided indicates that this structure does not require registration.

*** NOTICE ***

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results

PASS SLOPE(100:1): NO FAA REQ-RWY MORE THAN 10499 MTRS & 6960.71 MTRS (6.96070 KM) AWAY

Type	C/R	Latitude	Longitude	Name	Address	Lowest Elevation (m)	Runway Length (m)
AIRP	R	46-54-23.00N	096-48-40.00W	HECTOR INTL	CASS FARGO, ND	273.2	2743.5

PASS SLOPE(100:1): NO FAA REQ-RWY MORE THAN 10499 MTRS & 6838.79 MTRS (6.8388 KM) AWAY

Type	C/R	Latitude	Longitude	Name	Address	Lowest Elevation (m)	Runway Length (m)
AIRP	R	46-54-29.00N	096-48-59.00W	HECTOR INTL	CASS FARGO, ND	273.2	2743.5

PASS SLOPE(100:1)NO FAA REQ - 5296.0 Meters (17375.1 Feet)away & below slope by 24.0 Meters (78.7399 Feet)

Type	C/R	Latitude	Longitude	Name	Address	Lowest Elevation (m)	Runway Length (m)
AIRP	R	46-53-45.00N	096-55-7.00W	WEST FARGO MUNI	CASS FARGO, ND	272.8	1005.8

Your Specifications

NAD83 Coordinates

Latitude	46-51-36,4 north
Longitude	096-52-21.5 west

Measurements (Meters)

Overall Structure Height (AGL)	26.8
Support Structure Height (AGL)	22.9
Site Elevation (AMSL)	274.9

Structure Type

MTOWER - Monopole

Tower Construction Notifications

Notify Tribes and Historic Preservation Officers of your plans to build a tower.

CLOSE WINDOW

November 15, 2023

City of West Fargo
Planning and Zoning Department
800 4th Avenue E., Suite 1
West Fargo, ND 58078

**RE: Proposed Verizon Wireless Communications Facility (Verizon Reference: "FAR Halfway")
Cass County Parcel #02-2965-00040-000 | 1402 16th Street E; West Fargo, ND 58078**

Dear Sir or Ma'am,

FAR HALFWAY is slated to offload the existing macro sites **FAR BLUE RAY & FAR MAPLEWOOD** and to improve coverage in the residential areas there. This site is being placed very close to the majority of the capacity demand of condos, restaurants and parks that is busy with lots of businesses and it will serve a big geographic footprint. Due to the nature of the surrounding area, a macro will be a far more effective offload solution than a small cell at this time. If we do not proceed with this effectively placed site, we will instead require a far greater number of ineffectively placed new builds or small cells.

Please contact your local Verizon Wireless resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Shady Hanna	Shady.hanna@verizonwireless.com	612-619-1849

Sincerely,
Shady Hanna
RF Engineer
Verizon

From: [wanda Evin](#)
To: [Leslie McGillivray-Rivas](#)
Subject: wireless telecommunications tower
Date: Saturday, December 2, 2023 5:23:17 PM

I am writing to express my disapproval of the proposed permit for a wireless telecommunications tower by Lutheran Church of the Cross. There is no need for a tower to be placed in a residential area----period. The city of Fargo and West Fargo have multiple industrial areas where people don't have homes. On average cell towers (within 1,000 feet) of homes reduce home values by 15%. Besides our home value decreasing, there are also health risks. Effects that have been documented as of 2020/23 are increased cancer risk, headaches, sleep issues, and genetic damage to name a few. The distance needed to reduce exposure down to the General Public Precautionary Level is 1320 feet, or a quarter of a mile. My question is why is this tower even being considered near residential homes? The answer, of course, is someone is profiting from this, and that would be the church. The church will be paid to have the tower on their property. I don't think any amount of money is worth the risk to people's health. Who knew a church would be a bad neighbor? Certainly not me. Is there anyone who has a home that would want a cell tower in their backyard knowing it will decrease their home value not to mention the health risks due to RF exposure. I sincerely hope people think of those questions when they are voting on this issue. Thank you for your time, Wanda Evin