



West Fargo Planning Commission Meeting
West Fargo City Hall 800 Fourth Ave. E., Suite 1, West
Fargo ND 58078
Tuesday, October 12, 2021
5:30 PM

1. Call to Order
2. Approval of Minutes – September 14, 2021
3. Agenda Items

A21-35 Conditional Use Permit for Wireless telecommunications tower within an A: Agricultural Zoning District in ET area at 4331 81 St S (parcel in the NE¼ of Section 36, T139N, R50W), Cass County, North Dakota – SBA Towers

Request to Continue - A21-36 Conditional Use Permit for indoor personal training/coaching (volleyball) facility in a M: Heavy Industrial Zoning District at 630 9th Street NW (Lot 1, Block 1 of West Fargo 5th Addition), City of West Fargo, North Dakota – J&S Development

Public Hearing - A21-37 Zoning Ordinance Amendment to 4-451.6 Automobile Parking Space Required for Office Uses and 4-434 DMU: Downtown Mixed Use District Standards regarding setbacks for new construction

Public Hearing - A21-38 Zoning Ordinance 4-434 DMU: Downtown Mixed Use District Standards regarding setbacks for new construction

Site Plan Review in CO: Corridor Overlay District for Office Building at 765 32nd Ave W (Lot 2, Block 1 of Eagle Run Plaza 12th Addition), City of West Fargo, North Dakota – Oak Ridge Office Park LLC

A21-20 Conditional Use Permit for off-premise sign in the EMU: Entertainment Mixed Use District at 2900 Sheyenne Street (Lot 1, Block 1 of Eagle Run Plaza 11th Addition), City of West Fargo, North Dakota – Bullis

4. Non-Agenda Items
5. Adjourn



*Maegin Elshaug, Director of Planning and Zoning
Lisa Sankey, Planner
Malachi Petersen, Planner
Chanda Erickson, Office Manager*

West Fargo Planning & Zoning Commission
Tuesday, September 14, 2021 at 5:30pm
West Fargo City Hall

Members Present: Joe Kolb, David Gust, April Walker, Lana Rakow, Mike Thorstad, Brady Woodard

Members Absent: Eric Dodds, Shane Lebahn

Others Present: Lisa Sankey, Kathryn DelZoppo, Chanda Erickson, Malachi Petersen, Tim Solberg, Maegin Elshaug, Jerry Wallace

Minutes Submitted by: Chanda Erickson, Office Manager

Meeting was called to order by Chair Kolb at 5:30pm.

Commissioner Gust moved and Commissioner Walker seconded to approve the August 10, 2021 meeting minutes as printed and mailed. No opposition, Motion carried.

Commissioner Kolb opened a Public Hearing - A21-31 North Pond at the Preserve 15th Addition, Replat & Rezoning from C-OP: Commercial Office Park to C: Light Commercial of Lot 1, Block 1 of North Pond at the Preserve 2nd Addition, City of West Fargo, North Dakota – Oporo LLC. There was no public comment. The Public Hearing was closed. After continued discussion, Commissioner Gust moved and Commissioner Thorstad seconded to approve the application with the four conditions listed in the staff report and the additional three Review Committee recommendations: 1) A 10' watermain easement be included on the west edge of the plat 2) River setback delineation is included on the plat 3) Access spacing is provided through a negative access easement on the plat for the eastern 200 feet for full access on 23rd Avenue East, or provide a traffic study to be reviewed by the City Engineer. No opposition. Motion carried.

Commissioner Kolb opened a Public Hearing - A21-32 Planned Unit Development (PUD) Amendment for Office Buildings at 2060 Sheyenne Street (Lot 4, Block 1 of Gateway West Addition), City of West Fargo, North Dakota – Gateway West, LLC. There was no public comment. The Public Hearing was closed. After discussion, Commissioner Walker moved and Commissioner Thorstad seconded to approve the application with the four conditions listed in the staff report. No opposition. Motion carried.

Trevor Deyo and Mike Graham, applicants, were available for questions.

Commissioner Kolb opened a Public Hearing - A21-33 Gateway 4th Addition, a Replat of Lot 1, Block 1 of Gateway 3rd (2050 Main Ave W), City of West Fargo, North Dakota – Sjostrom. The Public Hearing was closed. After discussion, Commissioner Rakow moved and



Commissioner Woodard seconded to approve the application with the four conditions listed in the staff report. No opposition. Motion carried.

Commissioner Kolb opened a Public Hearing - A21-34 Shadow Creek 6th Addition, Replat of Lots 21 & 22, Block 4 of Shadow Creek 5th, City of West Fargo, North Dakota – Heritage Homes. The Public Hearing was closed. After discussion, Commissioner Walker moved and Commissioner Gust seconded to approve the application with the six conditions listed in the staff report and an addition recommendation of adjusting the property line so they meet the three foot setback. The City Attorney is looking into if a recording a legally binding agreement would be sufficient. No opposition. Motion carried.

Site Plan Review CO and CO-I District – Car Wash at 2120 Sheyenne Street – Magnum Properties. After discussion, Commissioner Gust moved and Commissioner Woodard seconded to approve the application . No opposition. Motion carried.

Request to be Continued - A21-20 Conditional Use Permit for off-premise sign in the EMU: Entertainment Mixed Use District at 2900 Sheyenne Street (Lot 1, Block 1 of Eagle Run Plaza 11th Addition), City of West Fargo, North Dakota. After discussion, Commissioner Rakow moved and Commissioner Gust seconded to continue the application until next month. No opposition. Motion carried.

There were no non agenda items.

Commissioner Gust and Commissioner Rakow seconded to adjourn. No opposition. Meeting adjourned.

Planning and Zoning Commission meetings are published on YouTube City of West Fargo Channel; and are also included in our video archive at <https://www.westfargond.gov/AgendaCenter/Planning-Zoning-Commission-4>.

People with disabilities who plan to attend the meeting and need special accommodations should contact the Planning Office at 701.515.5370. Please contact us at least 48 hours before the meeting to give our staff adequate time to make arrangements.

Minutes are available on the City of West Fargo Web site at www.westfargond.gov/Planning-Zoning-Commission-4.

STAFF REPORT

A21-35		CONDITIONAL USE PERMIT	
4331 81 St S			
36-139-50 NE ¼ A 160.00, Cass County, North Dakota			
Applicant: SBA Towers X LLC		Staff Contact: Malachi Petersen	
Owner: Cass County Joint Water Resource District			
Planning & Zoning Commission Introduction:		10-12-2021	
Public Hearing:		10-12-2021	
City Commission:			

PURPOSE:

Developing a wireless telecommunications tower within an A: Agricultural Zoning District located in the West Fargo Extraterritorial Zoning Jurisdiction.

STATEMENTS OF FACT:

Land Use Classification:	C1: Deferred Development Sector (ETJ)
Existing Land Use:	None
Current Zoning District(s):	A: Agricultural
Zoning Overlay District(s):	CO: Corridor Overlay District
Total area size:	160 acres
Adjacent Zoning Districts:	R-1E: Rural Estate (North), A: Agriculture (South, East, West)
Adjacent street(s):	40 th Ave W (Arterial) and 15 th St W (local)
Adjacent Bike/Pedestrian Facilities:	None
Available Parks/Trail Facilities:	None

DISCUSSION AND OBSERVATIONS:

- The applicant is requesting to build a new, 155' monopole telecommunications tower located on property leased from the Cass County Joint Water Resource District. The proposed tower will replace the existing tower located across the road that will be removed during the Fargo-Moorhead Flood Diversion Project.
- The A: Agricultural zoning district allows for wireless telecommunication towers as a conditional use.
- The applicant has provided a site plan which shows the proposed tower being placed on lease space of 100 x 100 feet in the northeast corner section of the property.
- Telecommunications towers in non-residential districts are limited to 150' in height unless otherwise approved by the Planning and Zoning Commission and City Commission. The applicant has indicated that the structure is proposed to be 155' in height to replace the existing tower that is 155' stating that the extra height is needed so that carrier service is not hindered.
- The applicant has signed an affidavit agreeing to meet reasonable terms and conditions for shared use / colocation with other carriers.
- The applicant has submitted documentation required by the Federal Aviation Administration and the Federal Communications Commission showing the proposed structure would not affect flight operations of the West Fargo Municipal Airport.

STAFF REPORT

- The proposed tower will be within the Corridor Overlay District in place along 40th Ave W.
- A conditional use permit agreement is required to be signed prior to issuance of a building permit and may include conditions deemed appropriate by the Commission.

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - The property has adequate access and the improvements will not affect the current access.
2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - No concerns noted
3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - No concerns noted.
4. Utilities, with reference of locations, availability, and compatibility.
 - No concerns noted
5. Screening and buffering with reference to type, dimensions, and character.
 - Discretion is encouraged by the City Commission. Staff believes that the applicant should explore any measure to screen or setback the tower from adjacent properties and roadway.
6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - No concerns noted.
7. Required yards and other open space.
 - The proposed tower would have a setback of about 160 feet from the centerline of 40th Ave W and 250 feet from the side property line. Telecommunications towers are only required to be set back from the public right-of-way a minimum distance equal to one half of the height of the tower including all antennas and attachments.
8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - No concerns noted.
9. General compatibility with adjacent properties and other property in the district.
 - No concerns noted.

NOTICES:

Sent to: Property owners within 350'.

Comments Received:

- None

STAFF REPORT

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- West Fargo 2.0 does not prohibit or encourage the construction of telecommunications towers within West Fargo. The area where the tower will be constructed is in close proximity to the proposed Fargo-Moorhead Flood Diversion. Staff does not expect the area to further develop.

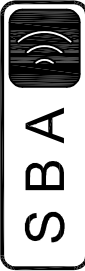
RECOMMENDATIONS:

It is recommended that the City approve the proposed application on the basis that it is consistent with City plans and ordinances with recommended conditions of approval as follows:

1. Discretion of placement of tower by Planning Commission and City Commission.
2. A Signed Conditional Use Permit Agreement is received.







SBA TOWERS K,LLC.
A DELAWARE LIMITED LIABILITY COMPANY
9500 W. 10TH AVE. SUITE 100
BOCA RATON, FL 33483
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

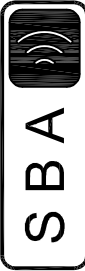
81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
AERIAL KEY

SHEET NUMBER

PS-0



SBA TOWERS K,LLC.
A DELAWARE LIMITED LIABILITY COMPANY
9905 PINECREST BLVD., SUITE 200
BOCA RATON, FL 33488
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

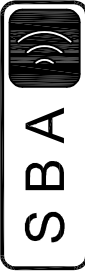
FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
EXISTING PHOTO

SHEET NUMBER
PS-1A



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
9905 ROCKY HILL ROAD
BOCA RATON, FL 33483
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

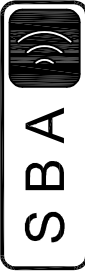
FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
PROPOSED IMAGE

SHEET NUMBER
PS-1B



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
9905 PINECREST BLVD
BOCA RATON, FL 33483
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

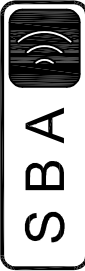
FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
EXISTING PHOTO

SHEET NUMBER
PS-2A



SBA TOWERS IX LLC,
A DELAWARE LIMITED LIABILITY COMPANY
9905 ROCKS CREEK DRIVE
BOCA RATON, FL 33488
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

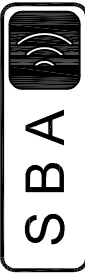
FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
PROPOSED IMAGE

SHEET NUMBER
PS-2B



SBA TOWERS K, LLC.
A DELAWARE LIMITED LIABILITY COMPANY
9500 ROCKY HILL ROAD
BOCA RATON, FL 33483
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

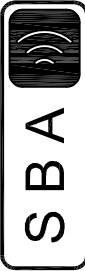
FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
EXISTING PHOTO

SHEET NUMBER
PS-3A



SBA TOWERS K,LLC.
A DELAWARE LIMITED LIABILITY COMPANY
9900 ROCKY HILL ROAD
BOCA RATON, FL 33483
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
v.1	PHOTO SIMULATIONS	09-07-21	MJS

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

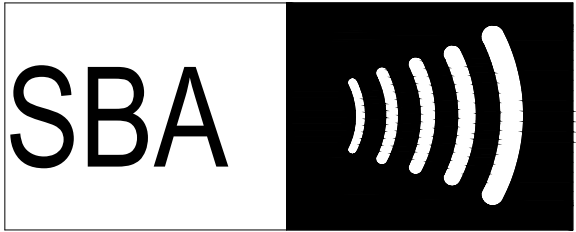
81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
DATE:	09/07/21
PROJECT #:	-

SHEET TITLE
PHOTO SIMULATIONS
PROPOSED IMAGE

SHEET NUMBER

PS-3B



SBA TOWERS IX LLC,
A DELAWARE LIMITED LIABILITY COMPANY
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

SITE NAME
FARGO EAGLE RUN RELO

SITE I.D.
ND23293-S

E911 ADDRESS
**40TH AVENUE WEST
WEST FARGO, ND 58078**

PROJECT TYPE
PROPOSED 155' MONOPOLE

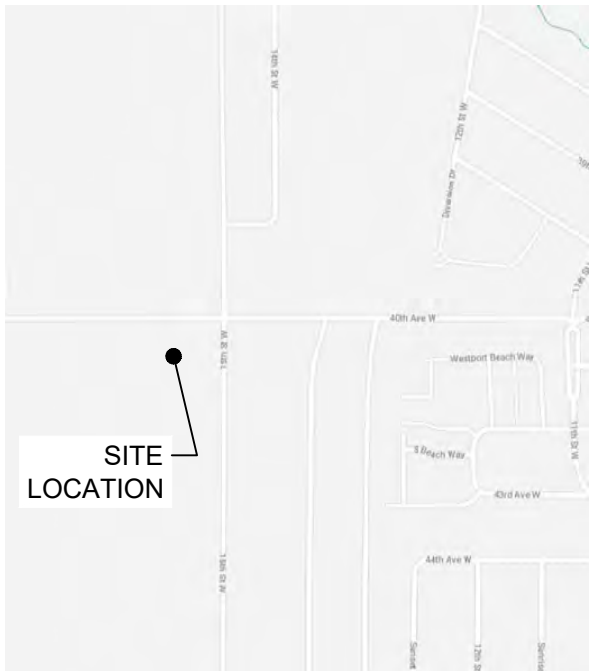
CONSULTING TEAM

ARCHITECTURAL - ENGINEERING FIRM:
DESIGN 1 ARCHITECTS LLC
9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
CONTACT: BOB DAVIS
PHONE: (952) 903-9299

SURVEYING FIRM:
WIDSETH
610 FILLMORE SRTEET - PO BOX 1028
ALEXANDRIA, MN 56308-1028
CONTACT: BRYAN BALCOME
PHONE: (320) 762-8149

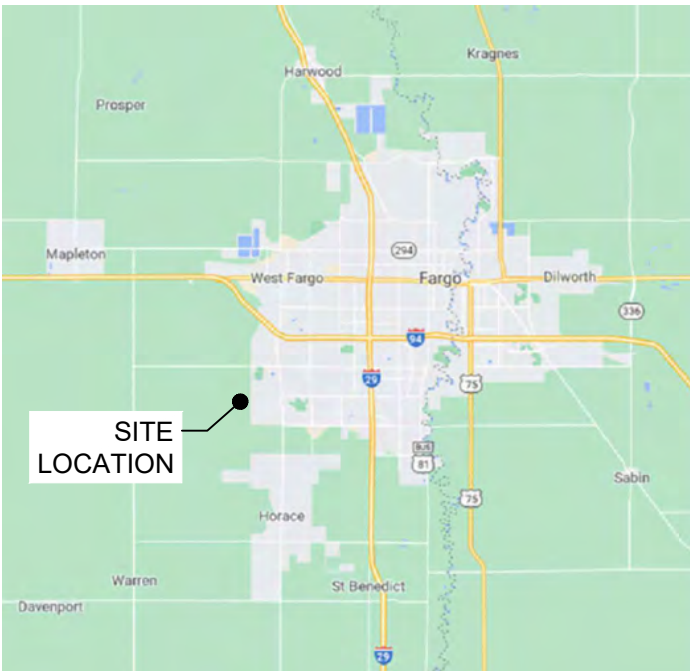
VICINITY MAP

N.T.S.



REGIONAL MAP

N.T.S.



PROJECT INFORMATION

SITE NUMBER: ND23293-S
SITE NAME: EAGLE RUN RELO
SITE ADDRESS: 40TH AVENUE WEST
WEST FARGO, ND 58078
COUNTY: CASS
LAND OWNER: SE CASS WATER DISTRICT
444 SHEYENNE ST, SUITE 301
WEST FARGO, ND 58078
APPLICANT: SBA TOWERS IX, LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
CONTACT PERSON: JESSICA ROSS
(561) 322-7792
LATITUDE: 46° 49' 6.924" N (FROM 1A)
LONGITUDE: 96° 55' 38.633" W (FROM 1A)
LAT/LONG TYPE: DEGREES MINUTES AND SECONDS
GROUND ELEVATION: 905.7' AMSL
CURRENT ZONING: CITY OF WEST FARGO
PARCEL No.: 53-0000-09177-000

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	
C-0	SITE PLAN	-
C-1	ENGINEERING SITE PLAN	-
C-2	SITE DETAILS AND SPECIFICATIONS	-
C-2A	SITE DETAILS	-
C-3	FENCE DETAILS	-
C-4	FENCE DETAILS	-
ANT-1	SITE ELEVATION	-
E-1	UTILITY ROUTING PLAN	-
E-2	SITE UTILITY PLAN	-
E-3	SITE GROUNDING PLAN	-
E-4	UTILITY DETAILS	-
E-5	SINGLE LINE DIAGRAM & PANEL SCHEDULE	-
E-6	ELECTRICAL AND GROUNDING DETAILS	-
GN-1	GENERAL NOTES	-

FULL SCALE PRINT IS ON 22"x34" MEDIA

SURVEY ATTACHMENTS

-- SITE SURVEY (2 SHEETS) -



CALL 48 HOURS
BEFORE YOU DIG
(800-795-0555 OR 811)

DRIVING DIRECTIONS

FROM INTERSECTION OF I-94 & I-29:
DIRECTIONS: HEAD WEST ON I-94 (FOR 3.2 MILES). TAKE EXIT 346A TO MERGE ONTO SHEYENNE
ST S (2.4 MILES). TURN RIGHT ONT 40TH AVE W (1.1 MILES). SITE WILL BE LOCATED ON THE
SOUTH/LEFT SIDE OF THE ROAD.

HANDICAPPED REQUIREMENTS

HANDICAPPED REQUIREMENTS :
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED

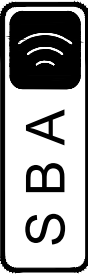
PLUMBING REQUIREMENTS :
FACILITY HAS NO PLUMBING

UTILITY CONTACT INFORMATION

POWER COMPANY:
CASS COUNTY ELECTRICAL
4100 32ND AVE SW, FARGO, ND 58104
CONTACT: BLAKE HOOVER
PHONE: (701) 356-4467

FIBER COMPANY: T.B.D.
TELEPHONE COMPANY
ADDRESS, ADDRESS, CITY, STATE, ZIP
CONTACT: CONTACT PERSON
PHONE: (XXX) XXX-XXXX FAX:(XXX) XXX-XXXX

NOTE: UTILITY COORDINATION IS NOT FINALIZED.
DO NOT PROCEED WITH CONSTRUCTION UNTIL
POWER / TELCO / FIBER HAVE BEEN CONFIRMED.



SBA TOWERS IX LLC,
A DELAWARE LIMITED LIABILITY COMPANY
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

NO.	DESCRIPTION	DATE		BY	
		ISSUED FOR REVIEW		JP	
		ISSUED FOR REVIEW		JP	
A					
B					

SITE I.D.
ND23293-S

**FARGO EAGLE
RUN RELO**

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY: JP

CHECKED BY: TJR

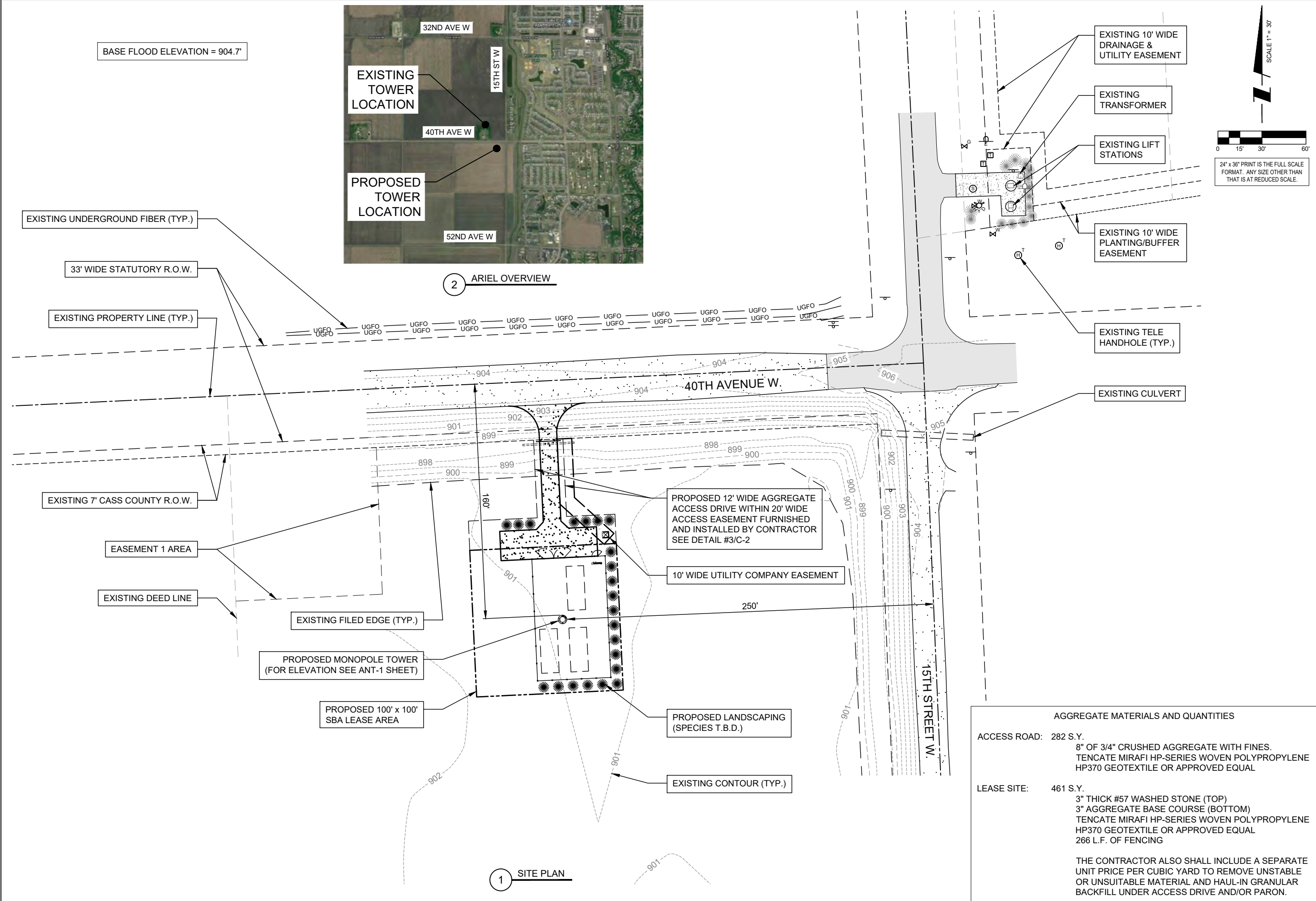
DATE: 09/02/21

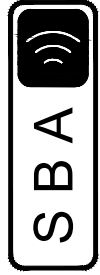
PROJECT #: XX-XXX

SHEET TITLE
TITLE SHEET

SHEET NUMBER

T-1





SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
9500 BOCA RATON BLVD, SUITE 100
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS		DATE	BY
NO.	DESCRIPTION	ISSUED FOR REVIEW	JP
A		07/30/21	JP
B		08/02/21	JP

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	JP
CHECKED BY:	TJR
DATE:	09/02/21
PROJECT #:	XX-XXX

SHEET TITLE
SITE PLAN

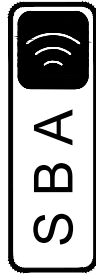
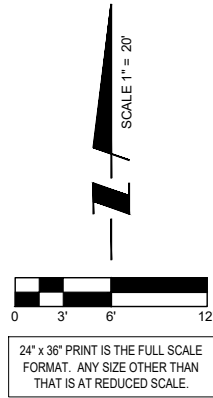
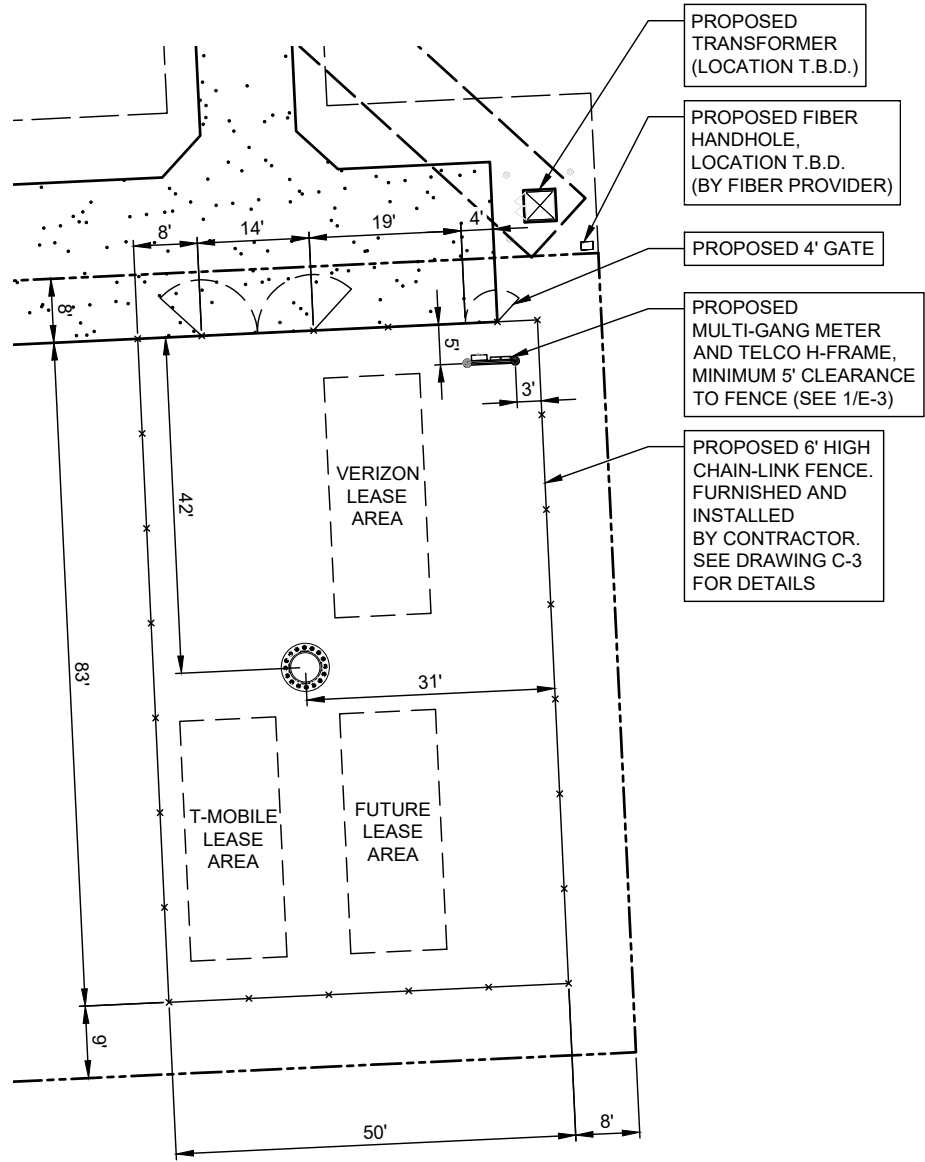
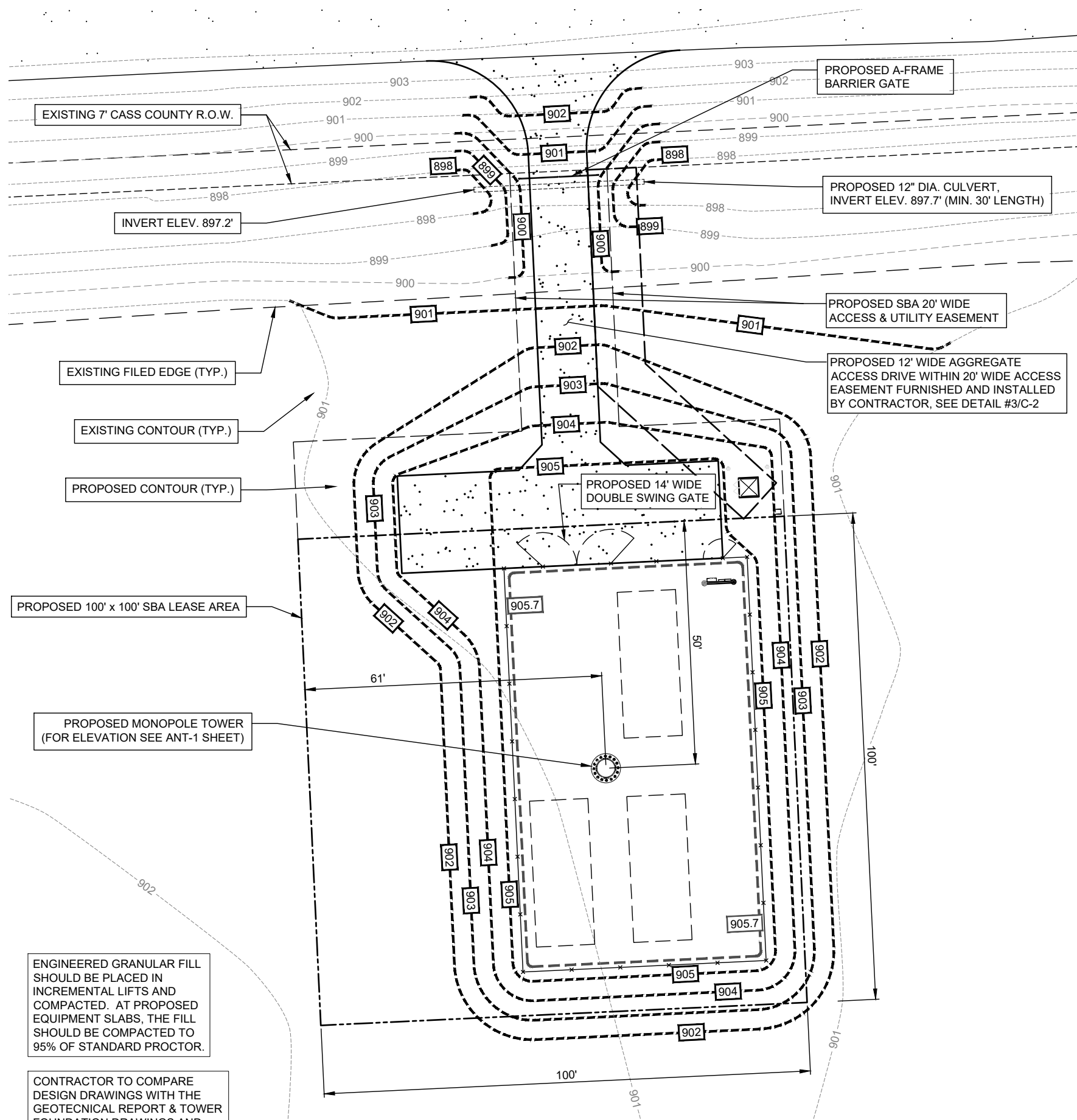
SHEET NUMBER
C-0

AGGREGATE MATERIALS AND QUANTITIES

ACCESS ROAD: 282 S.Y.
8" OF 3/4" CRUSHED AGGREGATE WITH FINES.
TENCATE MIRAFI HP-SERIES WOVEN POLYPROPYLENE
HP370 GEOTEXTILE OR APPROVED EQUAL

LEASE SITE: 461 S.Y.
3" THICK #57 WASHED STONE (TOP)
3" AGGREGATE BASE COURSE (BOTTOM)
TENCATE MIRAFI HP-SERIES WOVEN POLYPROPYLENE
HP370 GEOTEXTILE OR APPROVED EQUAL
266 L.F. OF FENCING

THE CONTRACTOR ALSO SHALL INCLUDE A SEPARATE
UNIT PRICE PER CUBIC YARD TO REMOVE UNSTABLE
OR UNSUITABLE MATERIAL AND HAUL-IN GRANULAR
BACKFILL UNDER ACCESS DRIVE AND/OR PARON.



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
9500 ROCKY HILL ROAD, SUITE 100
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	07/30/21	JP
2	ISSUED FOR REVIEW	08/02/21	JP

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	JP
CHECKED BY:	TJR
DATE:	09/02/21
PROJECT #:	XX-XXX

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER

C-1

GENERAL ELECTRICAL NOTES

- 1.) ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES. THE CONTRACTORS SHALL FURNISHED AND PAY FOR ALL PERMITS AND RELATED FEES.
- 2.) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- 3.) CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- 4.) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- 5.) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 6.) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 7.) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 8.) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 9.) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 10.) PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 11.) LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- 12.) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 13.) ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 14.) ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- 15.) NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER
- 16.) CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER. ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.
- 17.) ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- 18.) ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- 19.) PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ARCHITECTURE AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- 20.) PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- 21.) SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- 22.) ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION.
- 23.) IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- 24.) SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) -90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
- 25.) ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 M.P.H. WIND SPEED AND DESIGNED FOR EXPOSURE C.
- 26.) ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" RADIUS SWEEPS TO EQUIPMENT, PULLBOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- 27.) FUSE TYPE SHALL BE BUSSMAN RKI LOW PEAK FUSE (LPU-RK-100).
- 28.) CONTRACTOR TO PROVIDE GUTTER TAP(S) AS REQUIRED.
- 29.) CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B PHASE), RED (A PHASE), WHITE (NEUTRAL), AND GREEN (GROUND).

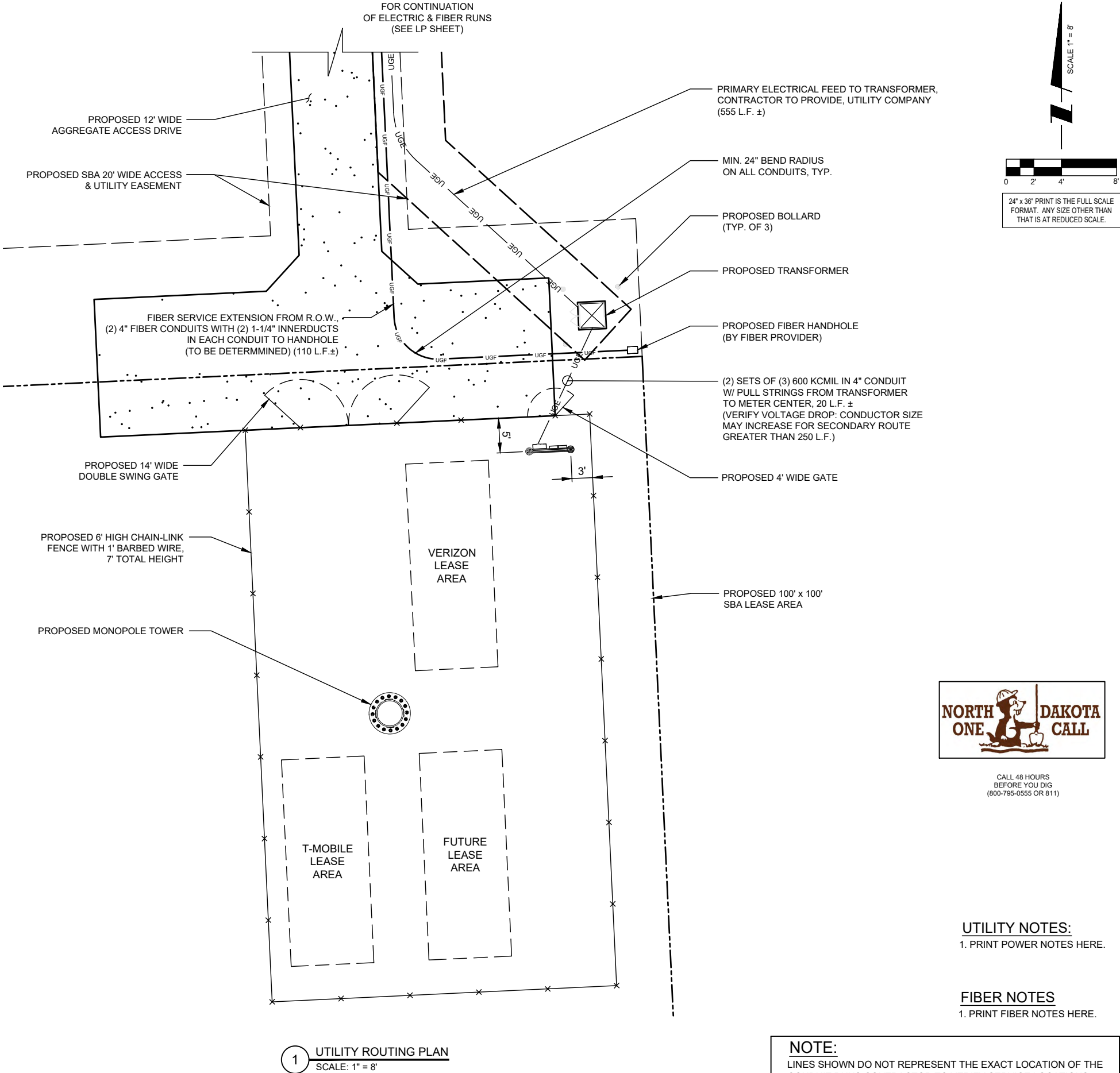
CODES AND STANDARDS

- ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
UL UNDERWRITERS LABORATORIES, INC.

UTILITY PROVIDE INFORMATION

POWER COMPANY: CASS COUNTY ELECTRICAL COOP
CONTACT: BLAKE HOOVER
PHONE: (701) 356-4467

FIBER COMPANY: FIBER COMPANY NAME
CONTACT: CONTACT NAME
PHONE: (XXX) XXX-XXXX



1 UTILITY ROUTING PLAN
SCALE: 1" = 8'



REVISIONS		DATE	BY
NO	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	07/30/21	JP
B	ISSUED FOR REVIEW	08/02/21	JP

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

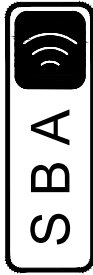
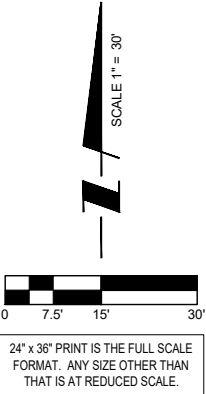
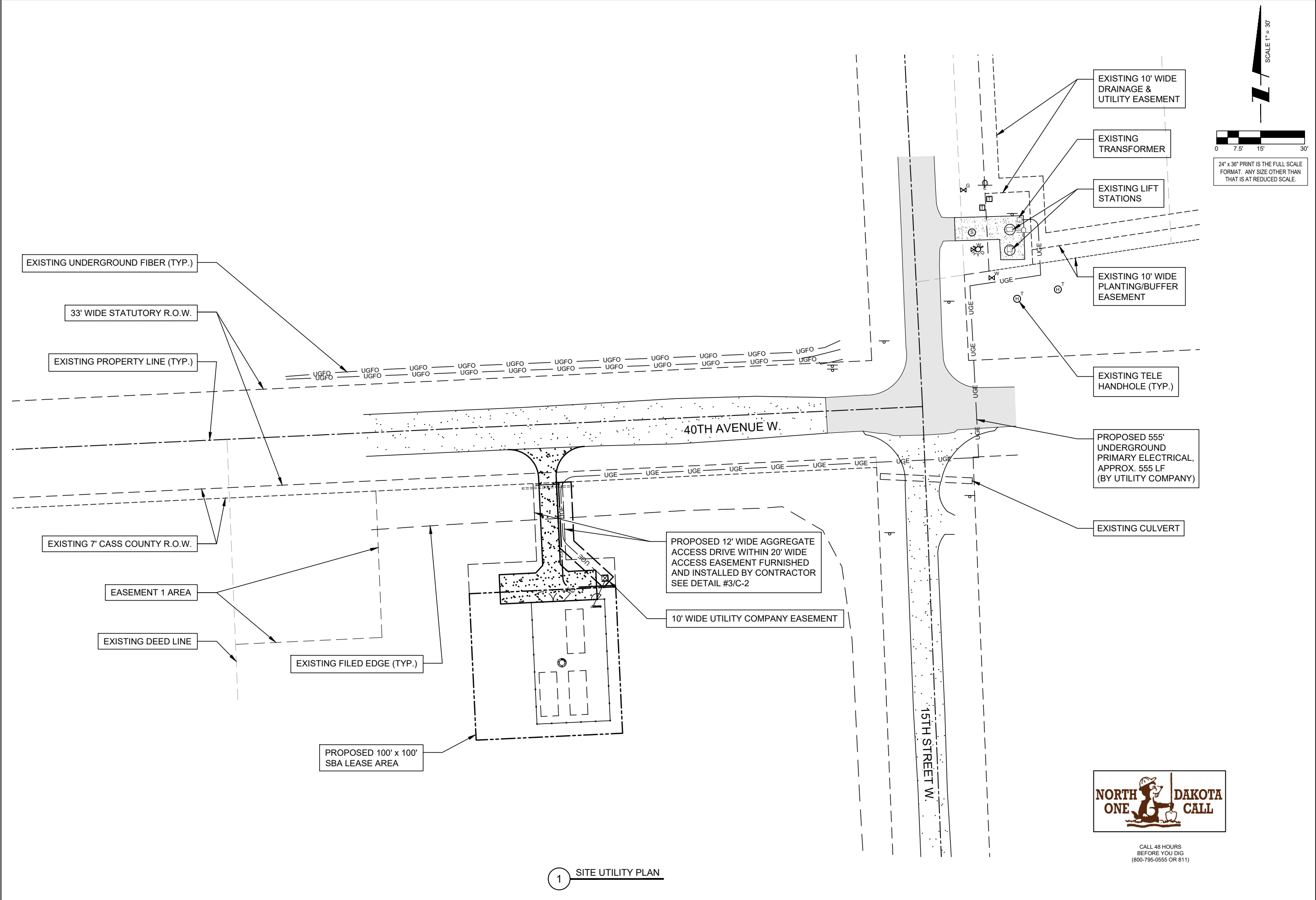
81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	JP
CHECKED BY:	TJR
DATE:	09/02/21
PROJECT #:	XX-XXX

SHEET TITLE
UTILITY ROUTING PLAN

SHEET NUMBER

E-1



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
9500 PINE COUNTRY BLVD
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM

REVISIONS			BY
NO.	DESCRIPTION	DATE	
A	ISSUED FOR REVIEW	07/30/21	JP
B	ISSUED FOR REVIEW	09/02/21	JP

SITE I.D.
ND23293-S

FARGO EAGLE
RUN RELO

81ST STREET SOUTH
MAPLETON TOWNSHIP, ND
58078-0000

DRAWN BY:	JP
CHECKED BY:	TJR
DATE:	09/02/21
PROJECT #:	XX-XXX

SHEET TITLE
SITE UTILITY PLAN

SHEET NUMBER
E-2



CALL 48 HOURS
BEFORE YOU DIG
(800-795-0555 OR 811)

STAFF REPORT

A21-37 ZONING ORDINANCE AMENDMENTS	
Zoning Ordinance Amendment to Sections 4-451.6 Automobile Parking Space Required	
Applicant: City of West Fargo	Staff Contact: Lisa Sankey
Planning and Zoning Commission Public Hearing:	10/12/2021
City Commission Introduction:	
Public Hearing & 1 st Reading:	
2 nd Reading	

PURPOSE:

Amendments to the Off Street Parking Regulations

DISCUSSION AND OBSERVATIONS:

- During review of parking for office uses in recent years, it has been determined that the parking required for office uses and medical uses may not necessarily reflect national standards or parking need and are higher than our neighboring communities and typically higher than demand.
- Currently, general office uses are required one space per 200 square feet of gross floor area with exceptions for beauty and barber shops of two spaces per operator, plus one space per employee on the largest shift and for medical offices and clinics of five spaces per doctor, plus one space per employee on the largest shift.
- Staff proposes the following Zoning Ordinance Amendment to 4-451.6 Automobile Parking Space Required for Office Uses:
 - General Office Uses: One Space per 300 square feet of gross floor area
 - Medical Offices and Clinics: One Space per 200 square feet of gross floor area

NOTICES:

Sent to: Notice in the newspaper and to City Departments

Comments Received:

- None to date.

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The proposed amendments do not make major substantive changes to the existing ordinances and are consistent with the Comprehensive Plan.

RECOMMENDATIONS:

Staff is recommending approval of the proposed amendments.

4-450. OFF-STREET PARKING AND LOADING REGULATIONS.

Subsections:

- 4-451. Automobile Parking Space Required.
- 4-452. Plans and Approval Required.
- 4-453. Design Standards.
- 4-454. Required Off-Street Loading Spaces.

4-451. AUTOMOBILE PARKING SPACE REQUIRED. No building shall be erected, enlarged to the extent of increasing the floor area, or changed in use unless there is provided on the lot, space for parking of automobiles as specified below. When sufficient off-street parking cannot be provided on the same lot or a lot contiguous to the principal use because of unique circumstances, and arrangements can be made to provide off-street parking on a noncontiguous lot, such parking arrangements shall be considered by the Planning and Zoning Commission on a case-by-case basis. The Planning and Zoning Commission may grant permission to provide parking on a noncontiguous lot provided traffic or land use problems are not created, and a long-term agreement can be negotiated so the required off-street parking is maintained as long as the principal use exists.

The Planning and Zoning Commission may allow sharing of required off-street parking by two separate uses provided the normal peak parking times of the two uses do not coincide. Only the off-street parking spaces not normally used by the off-peak use shall be counted as off-street parking for the peak use. Each use shall have the total required off-street parking available during their respective periods of peak parking use. A long-term agreement shall be negotiated whereby both uses are bound to the establishment and maintenance of the shared off-street parking.

If it can be demonstrated by the property owner through market studies or other means that the required off-street parking is excessive and/or a lower parking demand is supported by the Institute of Traffic Engineers Parking Generation manual and a lesser requirement justifiable, the City Commission may reduce the number of required spaces by passage of a resolution approved by a majority of the members of the City Commission.

Parking areas shall be so designed that vehicles may enter, circulate, park and exit in a convenient and orderly fashion. Required off-street parking shall be provided in such a manner that vehicles do not encroach on a public right-of-way. The minimum size of each parking stall shall be nine feet by 19 feet, exclusive of aisle width. For any parking area except for single, two-family, and 3-4 unit townhome dwellings, a suitable means of turnaround must be provided at maximum design capacity so no vehicle shall back onto public streets or alleys. Where this cannot be accomplished for parking lots of five (5) or fewer vehicles, the City may consider an alternative design as a conditional use.

Reference herein to "employee(s) on the largest shift" means the maximum number of employees employed at the facility regardless of the time period during which this occurs and regardless of whether

any such person is a full-time employee. The largest shift may be a particular day of the week or a lunch or dinner period in the case of a restaurant.

The term "capacity," as used herein, means the maximum number of persons which may be accommodated by the use as determined by its design or by building or fire code regulations, whichever is greater.

Any use not specifically mentioned below shall meet the requirements for uses most clearly related as determined by the Zoning Enforcement official.

The number of off-street parking spaces which shall be required are as follows:

1. Agricultural Support Uses - One space per employee on the largest shift, plus one space per 200 square feet of gross floor area provided for customer sales and service operations.
2. Residential Uses:
 - a. Single-Family - Two spaces per dwelling.
 - b. Multiple Family Unites - One space per efficiency dwelling unit and two spaces per dwelling unit for one or more bedroom units or the floor area divided by 440, whichever is greater.
3. Institutional, Recreational and Special Residential Uses:
 - a. Camps (Day or Youth) - One space per employee on the largest shift, plus one space per camp vehicle normally stored on the premises.
 - b. Church - One space per three seats of maximum capacity.
 - c. Community and Recreation Center - One space per 250 square feet of gross floor area, or one space per four patrons to the maximum capacity, plus one space per employee on the largest shift.
 - d. Day or Nursery School, Child Care Facility - One space per teacher/employee on the largest shift, plus one per space per ten students for loading and unloading.
 - e. Group Dwellings, Fraternity or Sorority, Boarding or Lodging Houses - One space per bedroom or sleeping room, unless it can be demonstrated that the occupants will not be driving.
 - f. Libraries and Museums - One space per 350 square feet of floor area or one space per four seats to the maximum capacity, whichever is greater, plus one space per employee on the largest shift.

- g. Monasteries, Convents - One space per six residents, plus one space per employee on the largest shift, plus one space per five chapel seats if the public may attend.
 - h. Nursing Homes - One space per six patient beds, plus one space per employee on the largest shift.
 - i. Schools:
 - (1) Elementary and Junior High - One space per teacher and staff member.
 - (2) Senior High - One space per teacher and staff member on the largest shift, plus one space per five students.
 - (3) College, Trade and Vocational - One space per staff member of the largest shift, plus one space per four students of the largest class attendance period.
 - j. Swimming Facility - One space per 100 square feet of gross water area, plus one space per employee on the largest shift.
 - k. Tennis, Racquetball, Handball Courts - Two spaces per court, plus one space per employee on the largest shift.
 - l. Bowling Alley - Three spaces per lane, plus one space per employee on the largest work shift.
 - m. Miniature Golf - One space per hole, plus one space per employee on the largest work shift.
 - n. Outdoor Theatre - One space per four patrons to the maximum capacity of the facility inclusive of both indoor and outdoor capacity.
 - o. Skating Rink, Ice or Roller - One space per 300 square feet of gross floor area.
 - p. Health Club - One space per 100 square feet of gross floor area, plus one space per employee on the largest shift.
 - q. Golf Courses - Five spaces per hole.
 - r. Other Commercial Recreational Uses - One space per four patrons to the maximum capacity of the facility, or one space per 250 square feet of gross floor area, whichever is more appropriate.
5. Commercial and Entertainment Uses, Except as Specifically Designated Below - One space per 250 square feet of gross floor area of customer sales and services, plus one space

per 250 square feet of storage and/or office gross floor area.

- a. Banks - One space per 200 square feet gross floor area.
- b. Eating and Drinking Establishments - One space per four patron seats or one space per 100 square feet of gross floor area, whichever is greater, plus one space per employee on the largest shift.
- c. Fast Food Establishments:
 - (1) With Seating - One space per three patron seats, plus one space per employee on the largest shift.
 - (2) Without Seating - One space per 200 square feet of gross floor area, plus one space per employee on the largest shift.
- d. Funeral Home - One space per four patron seats or 25 spaces per chapel unit, whichever is greater.
- e. Grocery or Supermarket - One space per 200 square feet of gross floor area or customer sales and service, plus one space per 200 square feet gross floor area of storage.
- f. Hospital - One space per three patient beds, plus one space per staff doctor and per employee on the largest shift.
- g. Hotel or Motel - One space per room or suite, plus 50 percent of the spaces otherwise required for accessory uses, e.g. restaurants and bars.
- h. Private Clubs and Lodges - Required parking spaces are to be determined by the specific uses associated with the facility.
- i. Repair Services - A minimum of three spaces shall be provided for the first 2,000 square feet of gross floor area, plus one additional space for each 1,000 square feet of gross floor area thereafter, plus one space per employee on the largest shift.
- j. Furniture and Home Furnishing Stores - One space per 500 square feet of customer sales, plus one space for every 1,000 square feet of storage area.
- k. Self-Service Laundry - One space per three machines.
- l. Assembly or Exhibition Hall, Sports Arenas, Theaters and Auditoriums - One space per five seats based on maximum capacity.

- m. Taverns, Dance Halls, Night Clubs and Lounges - One space per 50 square feet of gross floor area.
 - n. Vehicle Sales - Six parking spaces plus one space per 500 square feet of gross floor area over 1,000 feet.
 - o. Vehicle Repair and Maintenance Services - One space per 400 square feet of gross floor area, plus one space per employee on the largest shift.
 - p. Games of Chance Operations - One space per three patron seats.
6. Offices Uses, Except as Specifically Designated Below - One space per ~~200~~ 300 square feet of gross floor area.
- ~~a. Beauty and Barber Shops - Two spaces per operator, plus one space per employee on the largest shift.~~
 - ~~b. Medical Offices and Clinics - Five spaces per doctor, plus one additional space per employee on the largest shift. One space per 200 square feet of gross floor area.~~
7. Industrial Uses, Except as Specifically Designated Below - One space per employee on the largest shift, plus one space per company vehicle regularly stored on premises.
- a. Veterinary Office - Three spaces per doctor, plus one space per employee on the largest shift.
 - b. Adult Entertainment Center - One space per employee on the largest shift, plus one space per 150 square feet of gross floor area.
8. Nursery Uses - One space per employee on the largest shift, plus one space per 500 square feet gross floor area of inside sales or display.
9. Handicapped Parking - All parking lots must be designed to provide handicapped parking spaces according to standards established under Americans with Disabilities Act (ADA).

Source: Ord. 434, Section 1 (1992); Ord. 458, Sec. 18 (2005); Ord. 1049, Sec. 38 (2015).

4-452. PLANS AND APPROVAL REQUIRED. Plans for improved, new or expanding private driveways and off-street parking spaces, shall be prepared and submitted to the City Building Administrator and City Planner for review and approval. Before approving any private driveway or parking layout, the Building Administrator and City Planner shall satisfy themselves that the driveway and/or spaces provided are usable and meet standard design criteria. All driveways and off-street parking spaces within the City limits shall be improved with a concrete or bituminous surface except for structures which are located on public roads or alleys that are graveled. In lieu of improving all driveways and off-street

parking spaces in industrial areas, a property owner may submit a plan demonstrating that improved driveways and off-street parking spaces will, within reason, retain soils, mud or other loose materials from being carried onto public streets by vehicles or equipment, i.e., by improving with concrete or bituminous surface fifty (50) feet or more of the area on the property where access to the public street(s) is gained. In addition to providing improved driveways and parking areas, industrial areas may need to expand those areas with gravel and/or crushed concrete to avoid carrying soils, mud or other loose materials into the street(s). All required off-street parking spaces shall be clearly marked. All parking lots being hard surfaced must be designed and striped to meet the design standards according to Section 4-453.

Source: Ord. 434, Sec. 2 (1992); Ord. 458, Sec. 19 (2005); Ord. 916, Sec. 48 (2012); Ord. 976, Sec. 4 (2013); Ord. 989, Sec. 1 (2014); Ord. 1066, Sec. 1 (2016)

4-453. DESIGN STANDARDS.

1. In all residential districts, required parking spaces shall be located on the same premises as the use they serve. In other districts, they shall be located on the premises or within 300 feet distance.
2. Parking areas for one or two family dwellings shall be in the garage, in the rear or side yards, or on the driveway leading to the garage only.
3. Parking areas shall be used for automobile parking only, with no sales, dead storage, repair work, dismantling or servicing of any kind permitted.
4. All uses, excluding one and two family residences, where parking or access facilities are located within 20 feet of a one or two family property line shall be required to effectively screen their parking facility from the residential use. Screening may include a sight obscuring fence at least 5 feet in height or plantings of sufficient type, density, and height so as to provide year-round screening. Before a building permit shall be issued, the building official shall approve the screening proposal.
5. Off-street parking areas shall be improved with a durable surface, afford adequate drainage and shall have bumper guards, unless owner can establish to the satisfaction of the Building Official that such guards are not necessary.

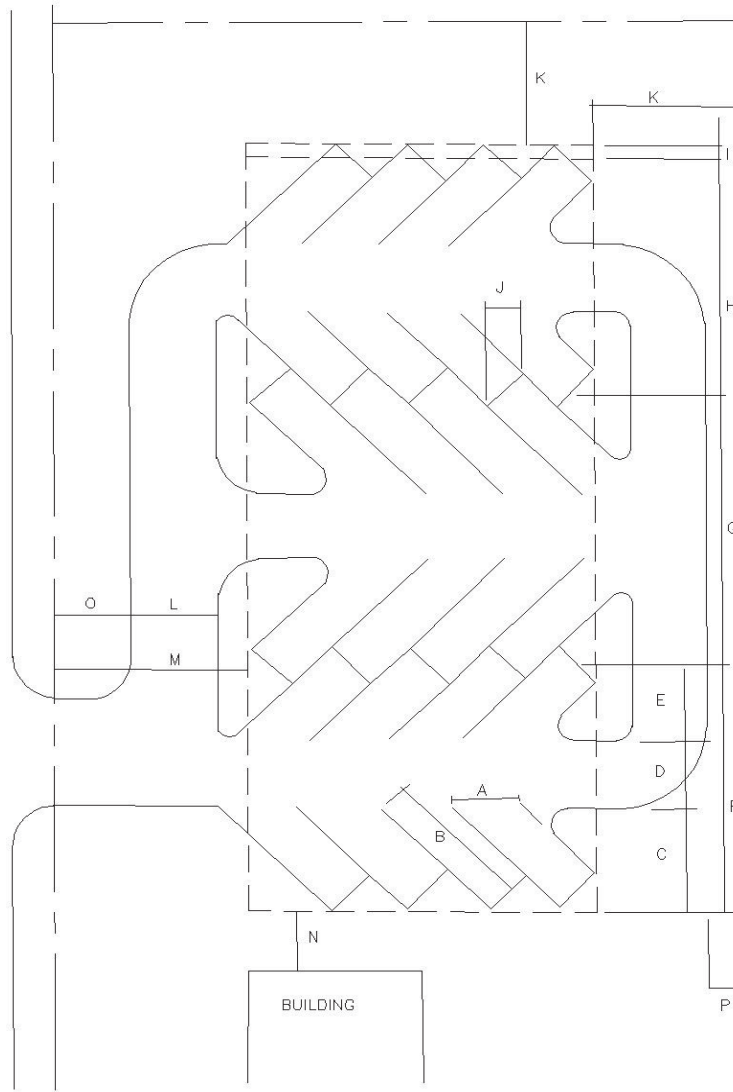
Source: Ord. 1049, Sec. 39 (2015)

PARKING LAYOUT REQUIREMENTS FOR 9 FOOT BY 18.5 FOOT
STALLS AT VARIOUS ANGLES

<u>DIMENSION</u>	<u>ON DIAGRAM</u>	<u>MINIMUM DIMENSIONS (feet)</u>			
		45	60	75	90
Stall width, parallel to aisle	A	12.7	10.4	9.3	9.0
Stall length of line	B	25.0	22.0	20.0	18.5
Stall depth	C	17.5	19.0	19.5	18.5
Driving aisle width between stall lines	D	12.0	16.0	23.0	26.0
Stall depth, interlock	E	15.3	17.5	18.8	18.5
Module, edge of pavement to interlock	F	44.8	52.5	61.3	63.0
Module, interlocking	G	42.6	51.0	61.0	63.0
Module, interlock to curb face	H	42.8	50.2	58.8	60.5
Bumper overhang (typical)	I	2.0	2.3	2.5	2.5
Offset	J	6.3	2.7	0.5	0.0
Side and rear yard setback	K	Lots in Residential & C Districts Which Abut Residential Districts: 5 feet. Other Districts: None			
Cross aisle, one-way	L	14.0	14.0	14.0	14.0
Cross aisle, two-way	-	24.0	24.0	24.0	24.0
Front yard setback (Parking Lots)	M	10' in Residential Districts or for Residential Uses in "C" Districts. Other: None.			
Setback from principal building	N	Residential Districts: 10 feet. Other Districts: 5 feet			
Front lot line to drive (landscape area)	O	10' in Residential Districts or for Residential Uses in "C" Districts. Other: None.			
Side and rear lot line to drive (landscape area)	P	Residential & C Districts: 5 feet. Other Districts: None			

Source: Ord. 334, Sec. 3 (1992); Ord. 455, Sec. 7 (1993); Ord. 916, Sec. 49 (2012).

PARKING LAYOUT DIAGRAM



4-454. REQUIRED OFF-STREET LOADING SPACES. REQUIRED OFF-STREET LOADING SPACES. Commercial and industrial uses shall provide for loading areas on the property which do not affect traffic on public streets. Adequate space shall be provided on the property to allow for ingress into the property, circulation within the property and egress from the property. Loading areas shall be shown on a site plan and approved by the City Planner and Building Administrator as part of the building permit. Loading spaces required under this section shall be at least 50 feet long and 12 feet wide. Every lot used for commercial or industrial purposes and having a building or buildings with a total floor area of at

least 10,000 square feet and every lot used for office or research purposes on which there is a building or buildings having a total floor area of at least 20,000 square feet, shall be provided with an off-street loading space. An additional off-street loading space shall be required for lots used for commercial or industrial purposes where the floor area of all buildings exceeds 100,000 square feet.

Source: Ord. 458, Sec. 20 (2005)

STAFF REPORT

A21-38 ZONING ORDINANCE AMENDMENTS	
Zoning Ordinance Amendment to 4-434 DMU: Downtown Mixed Use District	
Applicant: City of West Fargo	Staff Contact: Lisa Sankey
Planning and Zoning Commission Public Hearing:	10/12/2021
City Commission Introduction:	
Public Hearing & 1 st Reading:	
2 nd Reading	

PURPOSE:

Amendment to the DMU: Downtown Mixed Use Mixed Use District

DISCUSSION AND OBSERVATIONS:

- When the DMU: Downtown Mixed Use District was adopted by the City Commission on January 6, 2020 a section regarding setbacks for new construction of multi-use buildings adjacent to residential properties was presented and included in the 2nd reading; however, was not published in the text. This proposed amendment would add this to the current ordinance under Section 4-434.4.2.B.
- The proposed amendment states that a minimum side or rear yard setback of 20 feet for each additional floor above 35 feet is required where new construction is adjacent to one and two-family zoning districts.

NOTICES:

Sent to: Notice in the newspaper and to City Departments

Comments Received:

- None to date.

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- The proposed amendments do not make major substantive changes to the existing ordinances and are consistent with the Comprehensive Plan. The amendment will increase compatibility with any potential adjacent lower density residential districts.

RECOMMENDATIONS:

Staff is recommending approval of the proposed amendment.

4-434. "DMU" DOWNTOWN MIXED USE DISTRICT.

Source: Ord. 1148, Sec. 3 (2020); Ord. 1186, Sec. 1 (2021)

4-434.1. Statement of Intent. The intent of the DMU District is to provide elements which promote the principles of good planning and design as outlined in West Fargo 2.0. The elements are walkability, connectivity, mixed-use, scale, intensity and hidden parking. New development, redevelopment, or the reuse of existing land and buildings should be encouraged to better meet the local goal of achieving more walkable and bikeable corridors and a better connected village core. Additional growth and development within this connected village core is most desirable due to the presence of existing infrastructure and proximity of services. New development and redevelopment within this district should create and/or contribute to the character of a district that supports the City's goal of providing a cultural core of the community that creates a place residents come to gather and a place that is exciting to visit. New development and redevelopment should encourage civic pride, social and economic activity, and provide for a neighborhood that exemplifies the identity of West Fargo.

4-434.2. Uses. All uses are permitted in the DMU District, except the following uses, as defined in Section 4-200, which are not considered consistent with the intent of the district due to the inability to provide compatibility with the variety of traditional uses found within the district:

1. Adult Entertainment Center
2. Behavioral Health Care Facility
3. Heavy Industrial Uses

4-434.3 Site Design Standards.

1. Building Orientation.

- A. All ground level facades facing a public or approved private street must meet the following requirements.
 - i. Functioning building entries must be provided every 70 feet along street facades. Entries must lead to habitable space.
 - ii. Where a building fronts two or more streets, a secondary façade under 50 feet in length is exempt from the entry requirement.
 - iii. Loading docks and service areas are not permitted facing a street.

- B. Setbacks along public or approved private streets are must be within the range of zero to eight feet and meet the following requirements.
- i. Buildings may be set back from zero to two feet for architectural necessity including footings, cornices, fire risers, balconies, and similar building attachments.
 - ii. Building may be set back at eight feet to provide for an expansion of the public sidewalk.
 - iii. Building setbacks may increase according to the uses of Table 1.

Table 1. Maximum Street Setbacks

<u>MAXIMUM SETBACK</u>	<u>USE</u>
10 Feet	Merchandising
12 Feet	Seating, stoop, public art
18 Feet	Outdoor dining, porch
20 Feet	Public plaza

4-434.4. Lot Design Standards.

1. Parking Areas.

- A. Parking lots are required to be designed to share access with adjoining properties to avoid unnecessary additional access and open space which is difficult to maintain or provides no benefit to the district.
- B. Maximum parking allowed for a use may not exceed the parking minimum requirements found within Section 4-450: Off Street Parking and Loading Regulations.
- C. Parking lots are required to be hidden with first priority to be placed out of sight of a public or approved private street.
- D. On-street parking is encouraged where possible and is to be designed at the discretion of the City Engineer and Director of Planning and Zoning and approved by the City Commission.
- E. Where parking lots front a public or approved private street, a minimum 5 foot decorative buffer is required to include pedestrian friendly areas that also include plantings which hide the parking

area.

2. Building Construction.

- A. Ground floor facades facing a public or approved private street must have a minimum of 50% clear glass.
 - i. Corner lots must have a minimum of 30% clear glass facing the secondary street.
 - ii. Glass percentage is calculated individually for each facade and is measured between two and ten feet in height above grade along the length of the facade.
 - iii. Glass calculations include glass doors, windows, and storefront systems.
 - iv. Glass requirements do not apply to elevations facing an alley.
- B. New construction is required to be a minimum of two stories.
 - i. A minimum side or rear yard setback of 20 feet for each additional floor above 35 feet is required where new construction is adjacent to one and two-family zoning districts.
- C. The remaining ground floor façade is required to consist of durable materials.
- D. Residential lap-siding and corrugated metals or fiberglass siding are not allowed. Downtown building facades must use durable materials. Durable materials include:
 - i. Brick.
 - ii. Stucco - however, EIFS is not permitted within 36 inches of finished grade.
 - iii. Heavy Timber.
 - iv. Cementitious siding.
 - v. Wood.
 - vi. Slate.
 - vii. Architectural panel composed of metal, wood, or fiber cement.

- E. Utilities associated with private and/or public facilities as well as rooftop or tenant spaces are required to be screened from view of the public sidewalk.

3. Signage.

- A. Where a building is meeting the required zero front setback line, an encroachment of a wall sign or protruding wall sign at the ground level floor with a safe clearance may occur with appropriate approval of an encroachment agreement with the City as approved by the City Commission.
- B. Off-premise signage within the district is allowed as a conditional use following the provisions set forth in Section 4-550 of City Ordinances. Signage within the district should take into account the characteristics of its surrounding area and the intent and context of a downtown environment. The Commission should deliberate such items as size, intensity of light or color, and motion to avoid nuisance factors to the public and neighboring uses.

4. Streetscape. Improvements within City right of way are to be designed at the discretion of the City Engineer and Director of Planning and Zoning and approved by the City Commission. Any permanent encroachments into City right of way will require review and approval by the City Commission.

4-434.5. Other Applicable Regulations:

Section 4-440 Supplementary District Regulations

Section 4-450 Off-Street Parking and Loading Requirements

Section 4-460 Sign Regulations

FACT SHEET

WEST FARGO CITY COMMISSION

October 12, 2021

BACKGROUND:

PURPOSE: CO: Corridor Overlay Plan Review at 765 32nd Ave W (Lot 2, Block 1 of Eagle Run Plaza 12th Addition), City of West Fargo North Dakota

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Commercial Office/Retail Condo

EXISTING ZONING: CO: Corridor Overlay & C: Light Commercial

PARCEL SIZE: 9,896 square feet

The applicant has submitted site plans, including elevations showing a 1,500 square foot, two-story structure for use as office space.

Under Section 4-431.5.2.a, there is a higher construction standard for areas in the CO: Corridor Overlay District requiring the applicant receive approval of site and building plans prior to approval of a building permit for those areas along Sheyenne Street between Interstate 94 as well as 40th Avenue, 32nd Avenue west of Sheyenne Street and 13th Avenue East.

The Building Construction standards under 4-431.5. of the CO: Corridor Overlay District limits Light Commercial properties to no more than 30% metal or fiberglass on all walls fronting a public street provided it is coordinated into the architectural design. Seventy percent (70%) of any wall (facade area) which fronts on a public street shall be constructed of glass, brick, wood, stone, architectural concrete cast in place or precast concrete panels, or, as approved by the Commission(s), other integrated materials per the architectural design. The building does not front a public street; however, is faced with a combination of glass, LP siding (wood composite), brick, steel and metal, which would exceed the standard.

Setbacks for the building are more than adequate for the CO: Corridor Overlay District, as is the landscaping.

Under the original subdivision plat, a requirement for sidewalk or multi-use path connectivity within the subdivision was a condition of approval and addressed in a signed improvement agreement. The applicant has submitted a plan showing connectivity to the 33rd Avenue West sidewalk.

Required parking for general office uses would be one space 200 square feet of gross floor area and the developer intends for share parking for the proposed four buildings/lots. Forty-five (45) parking spaces would be required, with the site plan showing 45 spaces.

Cross access easements within the plat provide access to 6th & 9th Streets West, as well as to 32nd and 33rd Avenues West. Direct driveway access to this lot is proposed to the north, along the east/west cross access easement.

The submitted information shows that City plans and development requirements can be met. Staff's recommendation is to approve the site and elevation plans for submittal to the City Commission with the condition that all provisions of West Fargo City Ordinances are met to ensure sufficient review is provided for building inspections and other City departments

FILE LOCATION: R:\Projects\12000121900021933\CVL\PRODUCT\12000121933\COVER.dwg

PROJECT INFORMATION

PROJECT SUMMARY NOTES

LEGAL DESCRIPTION: LOTS 1-4, BLOCK 1 OF EAGLE RUN PLAZA 12TH ADDITION TO THE CITY OF WEST FARGO, CASS COUNTY, NORTH DAKOTA

AREA: LOT 1 - 10,105 S.F. (0.23 ACRES)
LOT 2 - 9,896 S.F. (0.227 ACRES)
LOT 3 - 9,896 S.F. (0.227 ACRES)
LOT 4 - 9,896 S.F. (0.227 ACRES)

ZONING: "C" DISTRICT - LIGHT COMMERCIAL DISTRICT AND "CO" DISTRICT - CORRIDOR OVERLAY DISTRICT

EXISTING USE OF PROPERTY: VACANT

PROPOSED USE OF PROPERTY: 1 OFFICE BUILDING AND PARKING LOT PER LOT

DEVELOPER: MIKE GRAHAM
FOUR HORSEMEN, LLC
3259 OAK RIDGE LOOP EAST
WEST FARGO, ND 58078
MIKE@MAGNUMELECTRIC.NET

ENGINEER: KYLE McCAMY, PE
MOORE ENGINEERING, INC.
925 10TH AVENUE EAST, SUITE 1
WEST FARGO, ND 58078
KYLE.MCCAMY@MOOREENGINEERINGINC.COM
(701) 282-4692

BASE ZONING DISTRICT REQUIREMENTS

NONE REQUIRED

CORRIDOR OVERLAY DISTRICT REQUIREMENTS

FRONT YARD: MINIMUM: 15 FEET (NOT ABUTTING DESIGNATED STREET)
PROVIDED: 35.81 FEET - LOT 1 (SOUTH)
34.25 FEET - LOT 2 (NORTH)
34.25 FEET - LOT 3 (NORTH)
34.25 FEET - LOT 4 (SOUTH)

SIDE YARD: MINIMUM: 10 FEET
PROVIDED: 10 FEET - LOT 1 (NORTH)
10 FEET - LOT 2 (SOUTH)
10 FEET - LOT 3 (SOUTH)
10 FEET - LOT 4 (NORTH)

REAR YARD: MINIMUM: 10 FEET (NOT ABUTTING DESIGNATED STREET)
PROVIDED: 10.5 FEET - LOT 1 (WEST)
10.5 FEET - LOT 2 (WEST)
20.5 FEET - LOT 3 (EAST)
20.5 FEET - LOT 4 (EAST)

LOT COVERAGE BY BUILDINGS: MAXIMUM: 40% (4,042 S.F. - LOT 1, 3,958.40 S.F. - LOTS 2-4)
PROVIDED: 14.84% - LOT 1 (1,500 S.F.)
15.16% - LOT 2 (1,500 S.F.)
15.16% - LOT 3 (1,500 S.F.)
15.16% - LOT 4 (1,500 S.F.)

OPEN SPACE LANDSCAPING OF LOT AREA: MINIMUM: 10% (1,010.50 S.F. - LOT 1, 989.60 S.F. - LOTS 2-4)
PROVIDED: 23.82% - LOT 1 (2,406.85 S.F.)
20.66% - LOT 2 (2,044.93 S.F.)
14.28% - LOT 3 (1,412.96 S.F.)
16.94% - LOT 4 (1,676.40 S.F.)

LANDSCAPED OPEN SPACE TO SEPARATE PARKING AREAS OR ACCESS DRIVES AND FRONT LOT LINES:

MINIMUM: 5 FEET
PROVIDED: 5 FEET - LOT 1 (SOUTH)
25 FEET - LOT 2 (NORTH)
25 FEET - LOT 3 (NORTH)
5 FEET - LOT 4 (SOUTH)

LANDSCAPED OPEN SPACE TO SEPARATE PARKING AREAS AND BUILDING SETBACK LINES:

MINIMUM: 5 FEET
PROVIDED: 5 FEET - LOT 1 (EAST)
5 FEET - LOT 2 (EAST)
5 FEET - LOT 3 (WEST)
5 FEET - LOT 4 (WEST)

OFF-STREET PARKING AND LOADING REQUIREMENTS

OFF-STREET PARKING: MINIMUM: 45 SPACES
15 SPACES - LOT 1 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 3,000 S.F. = 15, SO 15 SPACES)
15 SPACES - LOT 2 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 3,000 S.F. = 15, SO 15 SPACES)
7 SPACES - LOT 3 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 1,500 S.F. = 7.5, SO 7 SPACES)
8 SPACES - LOT 4 (1 SPACE PER 200 S.F. OF GROSS FLOOR AREA: 1 SPACE / 200 S.F. X 1,500 S.F. = 7.5, SO 8 SPACES)
PROVIDED: 45 SPACES (CUMULATIVE GROSS FLOOR AREA = 9,000 S.F.; 1 SPACE / 200 S.F. X 9,000 S.F. = 45, SO 45 SPACES)
15 SPACES - LOT 1 (14 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
14 SPACES - LOT 2 (13 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
7 SPACES - LOT 3 (6 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)
9 SPACES - LOT 4 (8 REGULAR SPACES AND 1 SPACE FOR PERSONS WITH DISABILITIES)

PARKING FOR PERSONS WITH DISABILITIES:

MINIMUM: 2 SPACES - LOT 1-4 (1 VAN ACCESSIBLE SPACE AND 1 ACCESSIBLE SPACE FOR LOT WITH 26-40 TOTAL SPACES*)
PROVIDED: 4 SPACES - LOT 1-4 (4 VAN ACCESSIBLE)
*DEVELOPER TO COORDINATE PREPARATION/EXECUTION OF SHARED PARKING AGREEMENT FOR ADA STALL USE.

OFF-STREET LOADING: N/A - EACH OFFICE OR RESEARCH BUILDING IS LESS THAN 20,000 S.F.

LANDSCAPING REQUIREMENTS

ONSITE LANDSCAPING: MINIMUM: 161 PLANT UNITS
41 PLANT UNITS - LOT 1 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 10,105 S.F. X 4 PLANT UNITS/1,000 S.F. = 40.42, SO 41 PLANT UNITS)
40 PLANT UNITS - LOT 2 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/1,000 S.F. = 39.58, SO 40 PLANT UNITS)
40 PLANT UNITS - LOT 3 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/1,000 S.F. = 39.58, SO 40 PLANT UNITS)
40 PLANT UNITS - LOT 4 (4 PLANT UNITS FOR EVERY 1,000 S.F. OF LOT: 9,896 S.F. X 4 PLANT UNITS/1,000 S.F. = 39.58, SO 40 PLANT UNITS)
PROVIDED: 375 PLANT UNITS
LOT 1 - 106 PLANT UNITS
7 PLANT UNITS IN 1 SMALL, MATURE DECIDUOUS TREES (6.80%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (9.43%)
14 PLANT UNITS IN 1 SMALL, MATURE EVERGREEN TREES (13.21%)
75 PLANT UNITS IN 15 MATURE SHRUBS (70.76%)
LOT 2 - 86 PLANT UNITS
14 PLANT UNITS IN 2 SMALL, MATURE DECIDUOUS TREES (16.28%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (11.63%)
7 PLANT UNITS IN 1 SMALL, MATURE EVERGREEN TREES (8.14%)
55 PLANT UNITS IN 11 MATURE SHRUBS (63.85%)
LOT 3 - 71 PLANT UNITS
7 PLANT UNITS IN 1 SMALL, MATURE DECIDUOUS TREES (9.86%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (14.80%)
14 PLANT UNITS IN 2 SMALL, MATURE EVERGREEN TREES (19.72%)
40 PLANT UNITS IN 8 MATURE SHRUBS (56.34%)
LOT 4 - 112 PLANT UNITS
21 PLANT UNITS IN 3 SMALL, MATURE DECIDUOUS TREES (18.75%)
10 PLANT UNITS IN 1 LARGE, MATURE DECIDUOUS TREES (8.93%)
21 PLANT UNITS IN 3 SMALL, MATURE EVERGREEN TREES (18.75%)
60 PLANT UNITS IN 12 MATURE SHRUBS (53.57%)

BOULEVARD TREES: MINIMUM: 7 TREES (1 TREE PER 30 FT OF LOT FRONTAGE: 210.79 FT X 1 TREE/30 FT FRONTAGE = 7.026, SO 7 TREES)
PROVIDED: 5 TREES (ALONG 33RD AVENUE WEST) (EXISTING ACCESS ROADWAYS AND CITY STREET LIGHTS LESSENS BOULEVARD SPACE FOR ALL REQUIRED TREES)

BUFFER YARD PLANTINGS: N/A - DISTRICT IS NOT IN BUFFER YARDS, SCREENING, AND ZONING STANDARDS TABLE.

SCREENING: MINIMUM: TRASH DUMPSTERS OR CONTAINERS USED FOR RECYCLING SHALL BE SCREENED ON THREE SIDES WITH ARCHITECTURAL SCREENING
PROVIDED: SCREENED TRASH/DUMPSTER RECYCLING AREA PER CITY'S TYPICAL DETAIL.

PARKING LOT PERIMETER LANDSCAPING:

MINIMUM: LANDSCAPING WHEN PARKING LOT PERIMETERS, INCLUDING DRIVEWAYS AND DRIVE AISLES, ARE NOT ENTIRELY SCREENED BY A BUILDING OR STRUCTURE FROM ANY ABUTTING RIGHT-OF-WAY
PROVIDED: PLANTINGS ALONG NORTH AND SOUTH EDGES OF PARKING LOT

PARKING LOT INTERIOR LANDSCAPING:

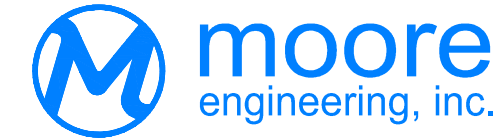
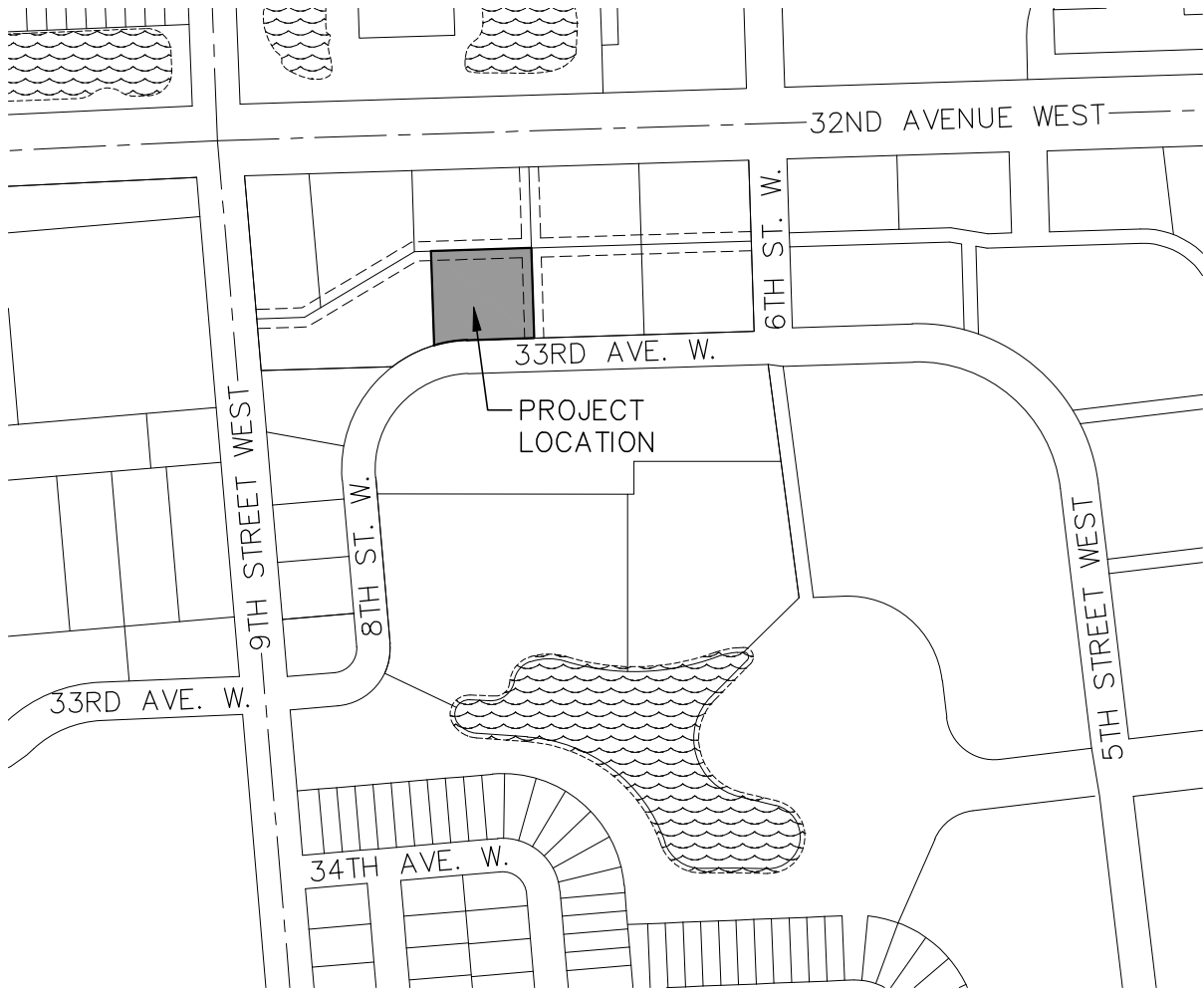
MINIMUM: VEHICULAR USE AREAS CONTAINING MORE THAN 6,000 SQUARE FEET OF AREA OR 20 OR MORE CONTINUOUS PARKING SPACES (40 BACK TO BACK) SHALL PROVIDE AN ISLAND OR PENINSULA
PROVIDED: 171 S.F. ISLAND

LOTS 1-4 OFFICE CONDOS

EAGLE RUN PLAZA 12TH ADDITION

WEST FARGO, NORTH DAKOTA

VICINITY MAP



Consulting Engineering • Land Surveying

925 10th Avenue East, Suite 1 • West Fargo, North Dakota

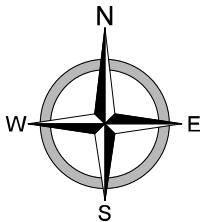
www.mooreengineeringinc.com

TABLE OF CONTENTS

SHEET	1	OF	10	G-001	COVER SHEET
SHEET	2	OF	10	C-001	CIVIL NOTES
SHEET	3	OF	10	C-002	CIVIL NOTES AND LEGEND
SHEET	4	OF	10	C-401	UTILITY PLAN
SHEET	5	OF	10	C-402	SITE PLAN
SHEET	6	OF	10	C-403	GRADING PLAN
SHEET	7	OF	10	C-404	EROSION PREVENTION AND SEDIMENT CONTROL PLAN
SHEET	8	OF	10	C-405	LANDSCAPE PLAN
SHEET	9	OF	10	C-501	TYPICAL DETAILS
SHEET	10	OF	10	C-502	TYPICAL DETAILS

STORM WATER RETENTION REQUIREMENTS

STORM WATER RETENTION:		LOT SIZE:	39,795.11 S.F. (0.91357 ACRES)
		% IMPERVIOUS:	80% (31,836.09 S.F.) 66% (26,253.78 S.F.) BUILDINGS, VEHICULAR AREAS, PEDESTRIAN AREAS 14% (5,688.23 S.F.) EXISTING ACCESS ROADWAY
REQUIRED:		7,973 C.F. (0.91357 ACRES AT 80% IMPERVIOUS)	
EXISTING:		5,670 C.F. (EAGLE RUN EAST REGIONAL POND FOR UP TO 70% IMPERVIOUS)	
PROVIDED:		2,341 C.F.	1,293 C.F. IN 183' OF 36" STORM SEWER PIPES 353 C.F. IN 72' OF 30" STORM SEWER PIPES 124 C.F. IN 60" STORM SEWER MANHOLE M1* 231 C.F. IN 84" STORM SEWER MANHOLE M2* 229 C.F. IN 84" STORM SEWER MANHOLE M3* 111 C.F. IN 60" STORM SEWER MANHOLE M4*
TOTAL:		8,011 C.F.	* BELOW SITE'S "BREAK-EVEN" ELEVATION OF 900.00



This document was originally issued and sealed by **Kyle J. McCamy**, Registration No. PE-6396, on **07/19/21** and the original document is stored at **Moore Engineering, Inc., West Fargo, N.D.**

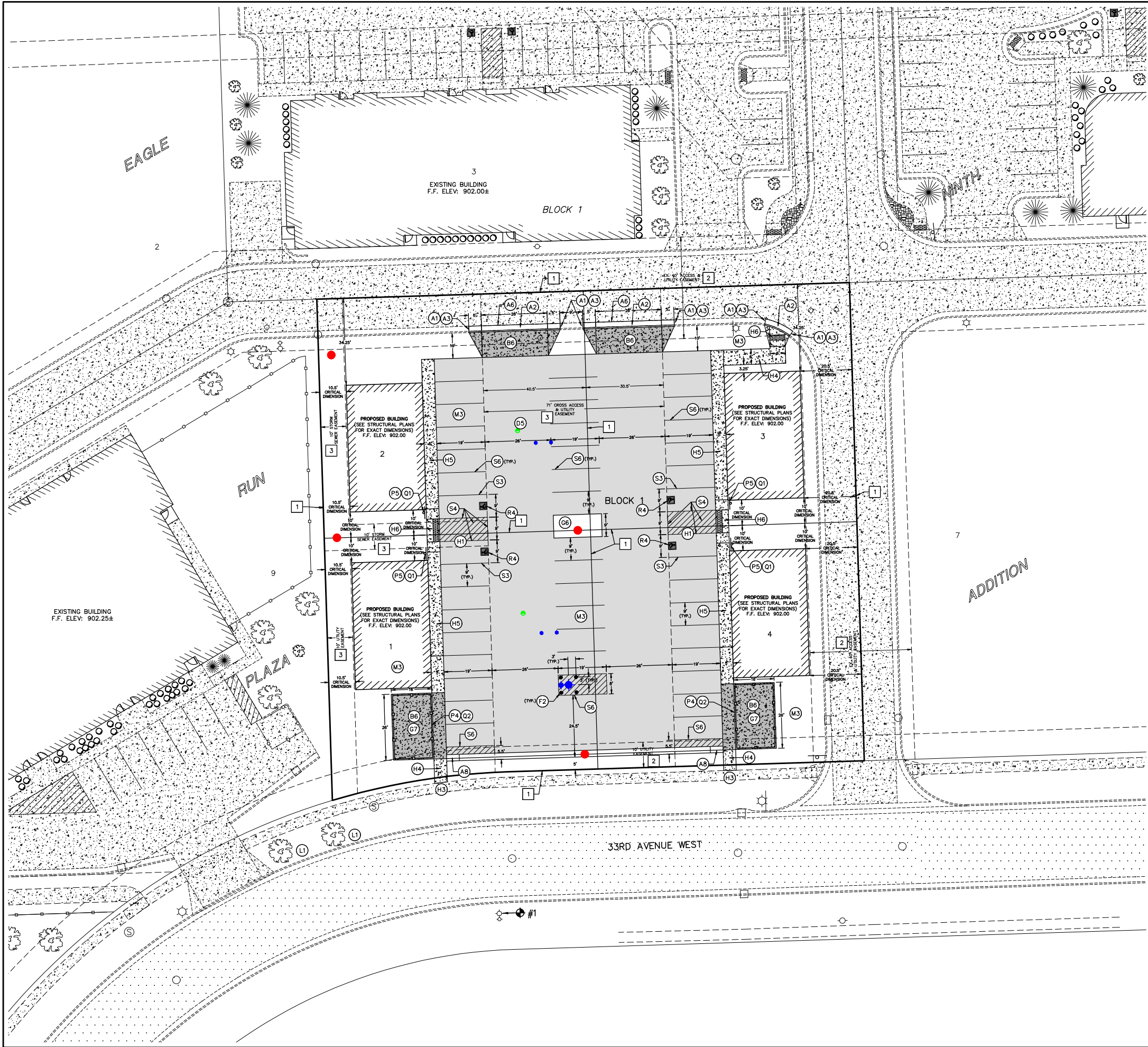


COVER SHEET
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
COVER SHEET

DATE:	06.09.21
REVISED:	07.19.21
REVISED:	----
REVISED:	----
REVISED:	----
RECORD:	----
PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB

G-001

SHEET 1 OF 10



GENERAL NOTATIONS

- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.
- 3 PROPOSED EASEMENT.

SITE NOTATIONS - VEHICULAR AREAS

- A1 VA-1 SAWCUT EXISTING CURB AND GUTTER FULL DEPTH.
- A2 VA-2 REMOVE EXISTING CURB AND GUTTER. REPLACE WITH KNOCKDOWN CURB AND GUTTER.
- A3 VA-3 CONNECT TO EXISTING CURB AND GUTTER.
- A5 CURB AND GUTTER - MOUNTABLE.
- A6 CURB AND GUTTER - KNOCKDOWN.
- A8 VA-4 TAPER LAST 5' OF CURB AND GUTTER HEIGHT FROM FULL HEIGHT TO 0".
- B6 VA-13 CONCRETE DRIVEWAY - 7".
- D5 VA-33 CONCRETE PAVEMENT SECTION - REGULAR.
- F2 VA-51 BOLLARD POST.
- G6 INTERIOR LANDSCAPING ISLAND.
- G7 VA-54 TRASH/RECYCLING ENCLOSURE/DUMPSTER AREA.

SITE NOTATIONS - PEDESTRIAN AREAS

- H1 DEVELOPER TO COORDINATE PREPARATION/EXECUTION OF SHARED PARKING AGREEMENT FOR ADA STALL USE.
- H3 PA-3 CONNECT TO EXISTING CONCRETE SIDEWALK.
- H4 PA-4 CONCRETE SIDEWALK.
- H5 PA-10 CONCRETE SIDEWALK CURB.
- H6 PA-11 CONCRETE CURB RAMP.

SITE NOTATIONS - MISCELLANEOUS

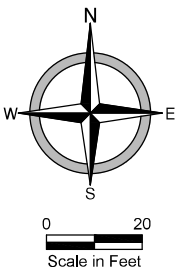
- L1 EXISTING TREE TO REMAIN.
- M3 MI-20 STRIP EXISTING TOPSOIL.

SITE NOTATIONS - SIGNING

- P4 MOUNT SIGN ON DUMPSTER FENCING/SCREENING.
- P5 SI-3 MOUNT SIGN ON POST.
- Q1 SI-5 SIGN ASSEMBLY - VAN ACCESSIBLE PARKING.
- Q2 CONTRACTOR TO INSTALL "NO PARKING DURING GARBAGE PICKUP DAY SIGN". OWNER TO APPROVE SIGN LAYOUT/DESIGN BEFORE INSTALLATION.

SITE NOTATIONS - PAVEMENT MARKINGS

- R4 PM-3 MESSAGE - BLUE (INTERNATIONAL SYMBOL OF ACCESSIBILITY).
- S3 PM-2 STRIPE - 4" BLUE ADJACENT TO 4" YELLOW.
- S4 PM-2 STRIPE - 4" BLUE.
- S6 PM-2 STRIPE - 4" YELLOW.



BENCHMARK LIST			
VERTICAL DATUM: NSVD 29			
HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION			
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	SOUTH SIDE OF 33RD AVENUE WEST	903.60

SITE PLAN
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
SITE PLAN

DATE:	06.09.21
REVISED:	07.19.21
REVISED:	----
REVISED:	----
REVISED:	----
REVISED:	----
RECORD:	----
PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB

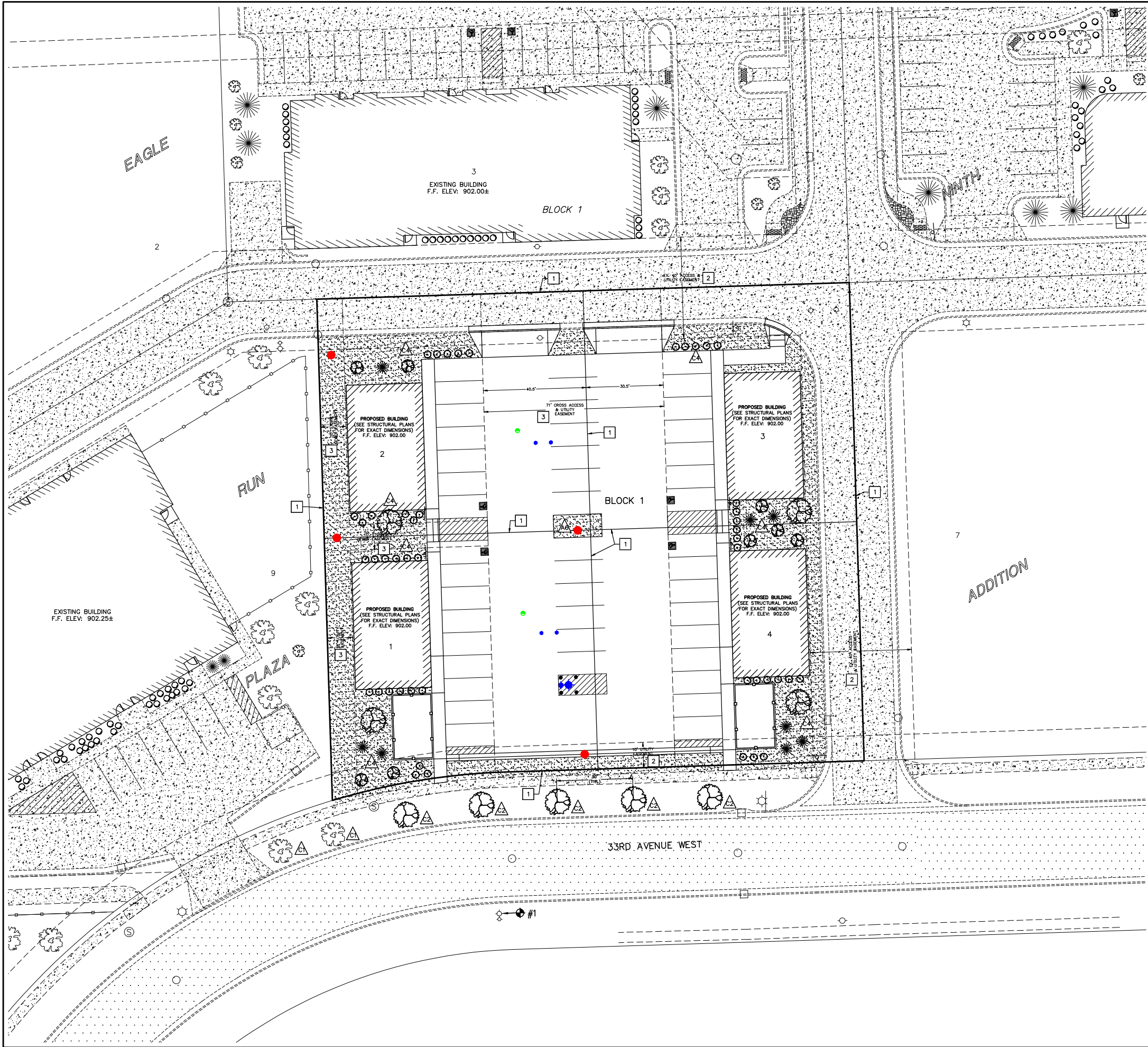
C-402

SHEET 5 OF 10

This document was originally issued and sealed by Kyle J. McCamy, Registration No. PE-6396, on 07/19/21 and the original document is stored at Moore Engineering, Inc., West Fargo, N.D.



FILE LOCATION: R:\Projects\21000121933\CIVIL\PRODUCTION\21933-SITE.dwg



GENERAL NOTATIONS

- 1 PROPERTY LINE.
- 2 EXISTING EASEMENT.
- 3 PROPOSED EASEMENT.

LANDSCAPE NOTATIONS

- LA-7 PLANTING BED.
- EXISTING WEST FARGO BOULEVARD TREE.
- LA-21 WEST FARGO BOULEVARD TREE.
- LA-21 WEST FARGO ONSITE PLANTING.

BENCHMARK LIST			
VERTICAL DATUM: NGVD 29			
HORIZONTAL DATUM: WEST FARGO HORIZONTAL CALIBRATION			
NO.	DESCRIPTION	LOCATION	ELEV.
1	TOP NUT ON HYDRANT	SOUTH SIDE OF 33RD AVENUE WEST	903.60

This document was originally issued and sealed by Kyle J. McCamy, Registration No. PE-6396, on 07/19/21 and the original document is stored at Moore Engineering, Inc., West Fargo, N.D.



LANDSCAPE PLAN
LOTS 1-4 OFFICE CONDOS
EAGLE RUN PLAZA 12TH ADDITION
WEST FARGO, NORTH DAKOTA
LANDSCAPE PLAN

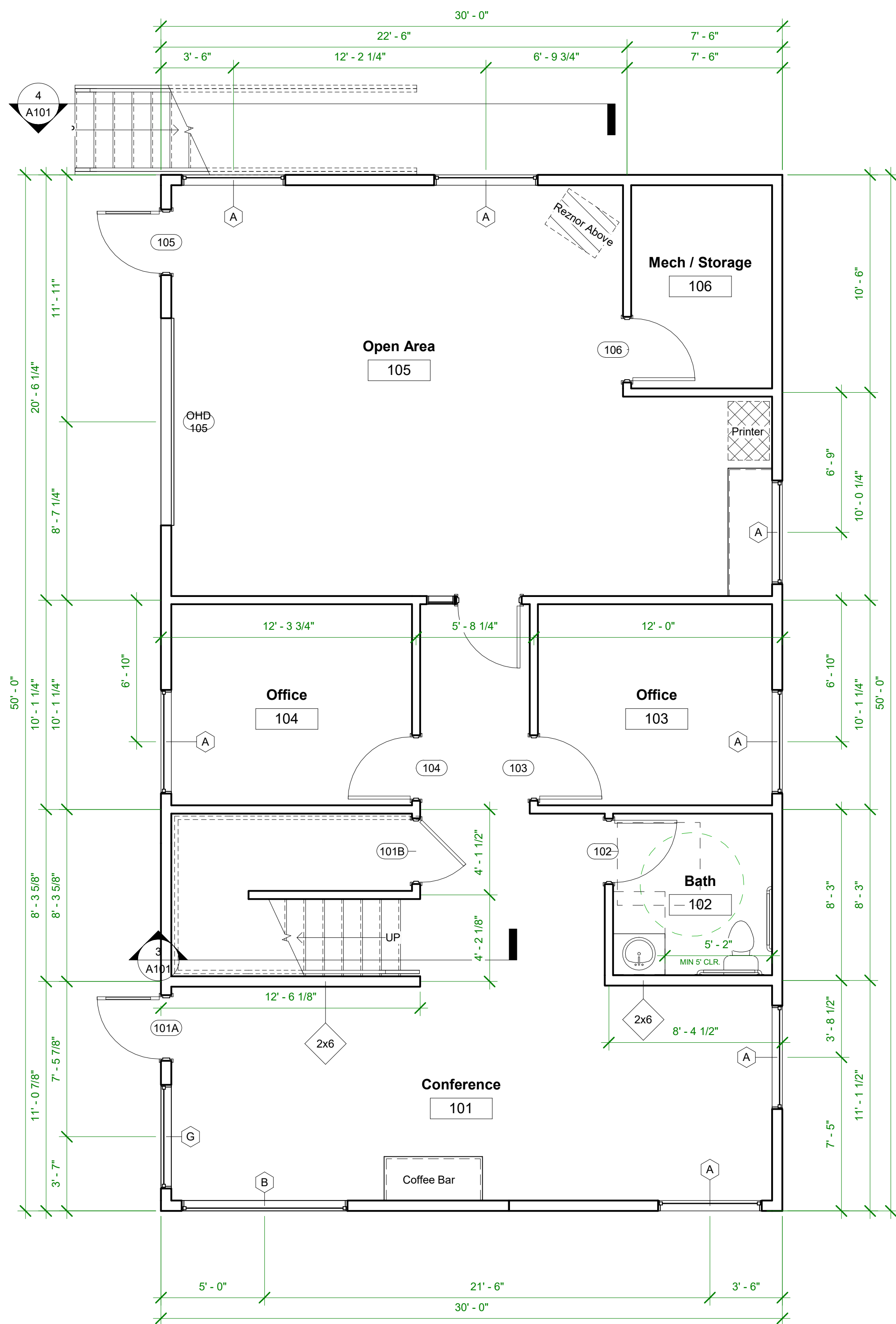
DATE:	06.09.21
REVISED:	07.19.21
REVISED:	---
REVISED:	---
REVISED:	---
REVISED:	---
RECORD:	---

PROJECT No.	21933
MANAGER:	CPB
DESIGNER:	MJP
DRAFTER:	KAG
REVIEWER:	CPB

C-405

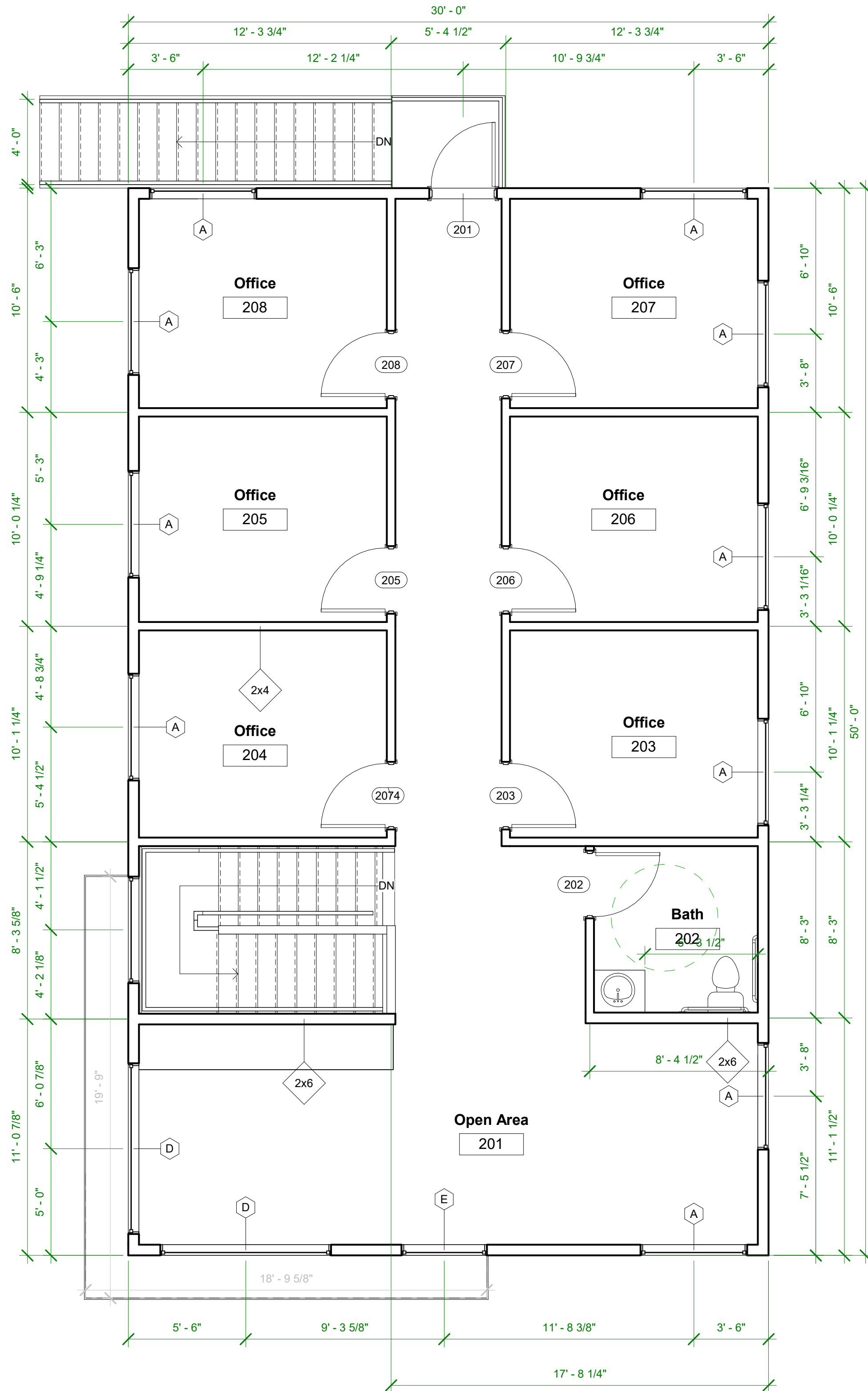
SHEET 8 OF 10





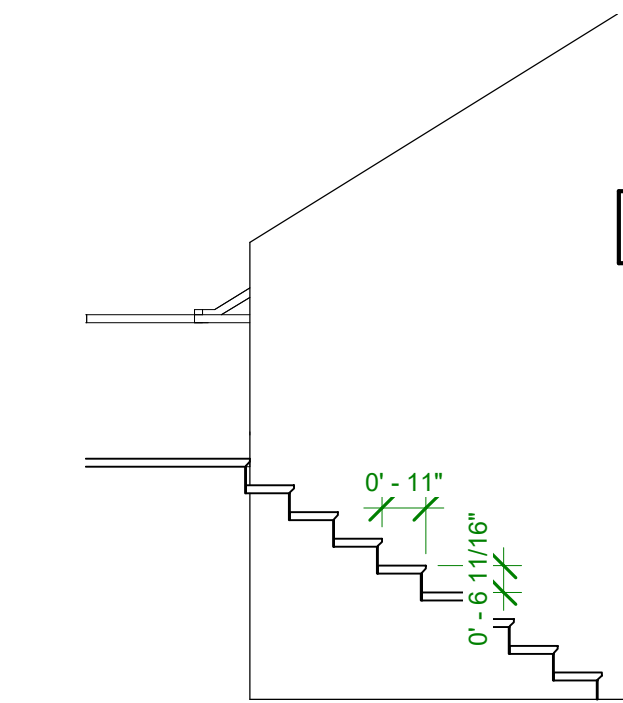
1 Level 1
1/4" = 1'-0"

CONSTRUCTION NOTES
WALL HEIGHT = 9' - 1 1/8", TYP.
-16" OC STUD SPACING, TYP.
-VERIFY ROUGH OPENINGS WITH G.C.
-PROVIDE HANDRAIL BACKING

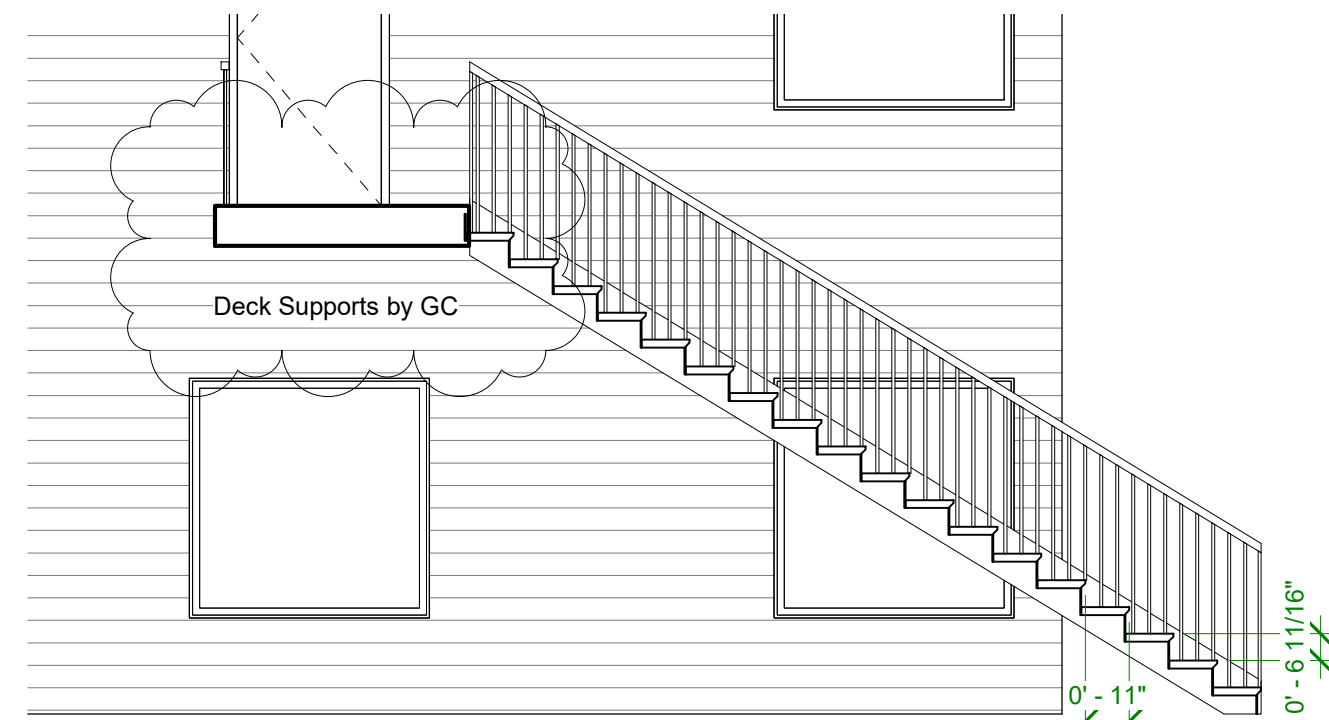


2 Level 2
1/4" = 1'-0"

CONSTRUCTION NOTES
WALL HEIGHT = 9' - 1 1/8", TYP.
-16" OC STUD SPACING, TYP.
-VERIFY ROUGH OPENINGS WITH G.C.
-PROVIDE HANDRAIL BACKING



3 Office Stair Detail
1/4" = 1'-0"



4 Exterior Stair Detail
1/4" = 1'-0"

Window Schedule						
Type Mark	Type	Width	Height	Rough Height	Rough Width	Count
E	4050	4' - 0"	5' - 0"			1
A	5050	5' - 0"	5' - 0"			18
G	5070	5' - 0"	6' - 4"			1
D	8050	8' - 0"	5' - 0"			2
B	8070	8' - 0"	6' - 4"			1
Grand total: 23						

Door Schedule		
Mark	Width	Height
101A	3' - 0"	7' - 0"
101B	3' - 0"	7' - 0"
101C	3' - 0"	7' - 0"
101E	1' - 2"	7' - 0"
102	3' - 0"	7' - 0"
103	3' - 0"	7' - 0"
104	3' - 0"	7' - 0"
105	3' - 0"	7' - 0"
106	3' - 0"	7' - 0"
201	3' - 0"	7' - 0"
202	3' - 0"	7' - 0"
203	3' - 0"	7' - 0"
205	3' - 0"	7' - 0"
206	3' - 0"	7' - 0"
207	3' - 0"	7' - 0"
208	3' - 0"	7' - 0"
2074	3' - 0"	7' - 0"
OHD 105	10' - 0"	8' - 0"

Project Number	9/21/2021 3:55:08 PM
Author	

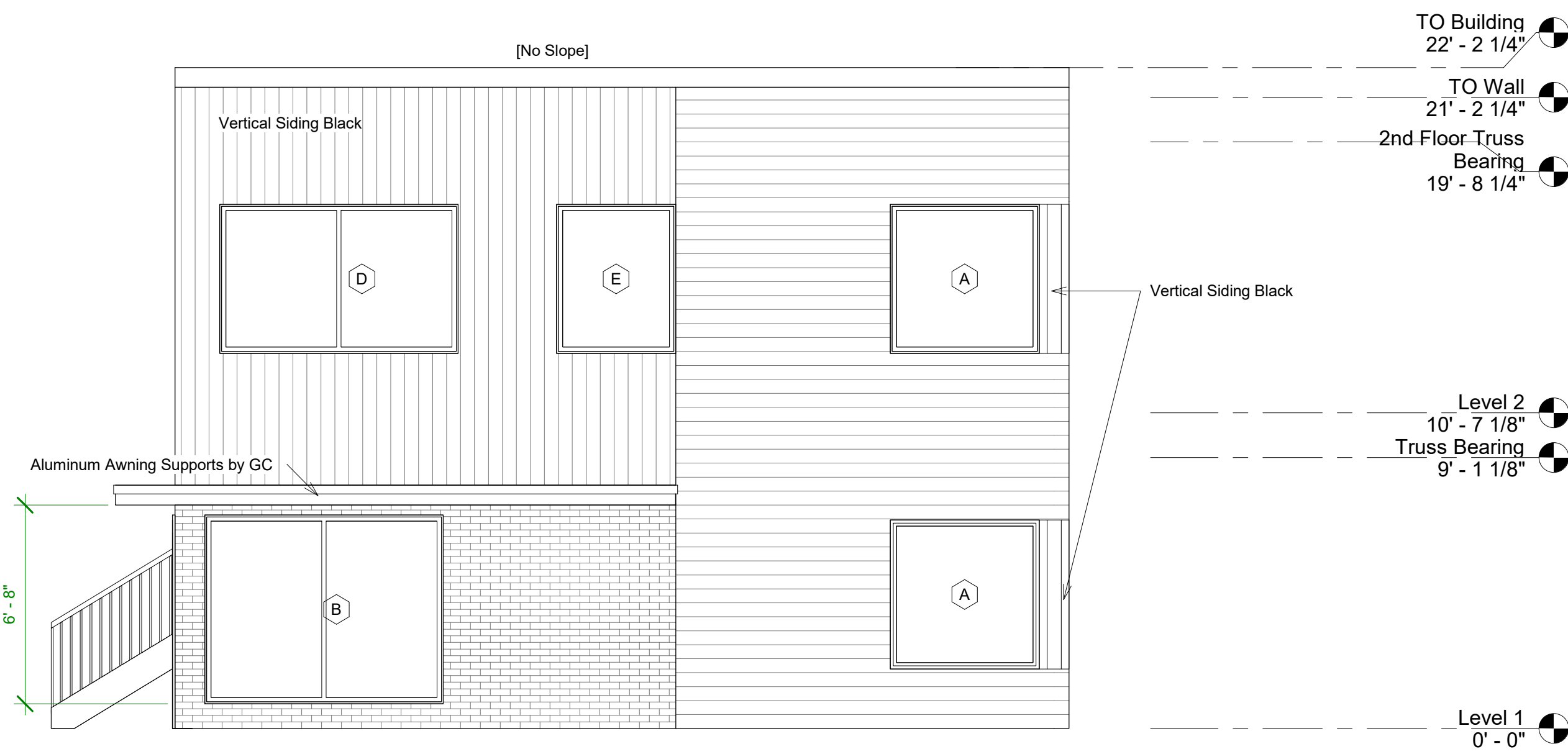
CUSTOMER ACCEPTS PLAN AS DRAWN:
NAME: _____ DATE: _____

Lot 2

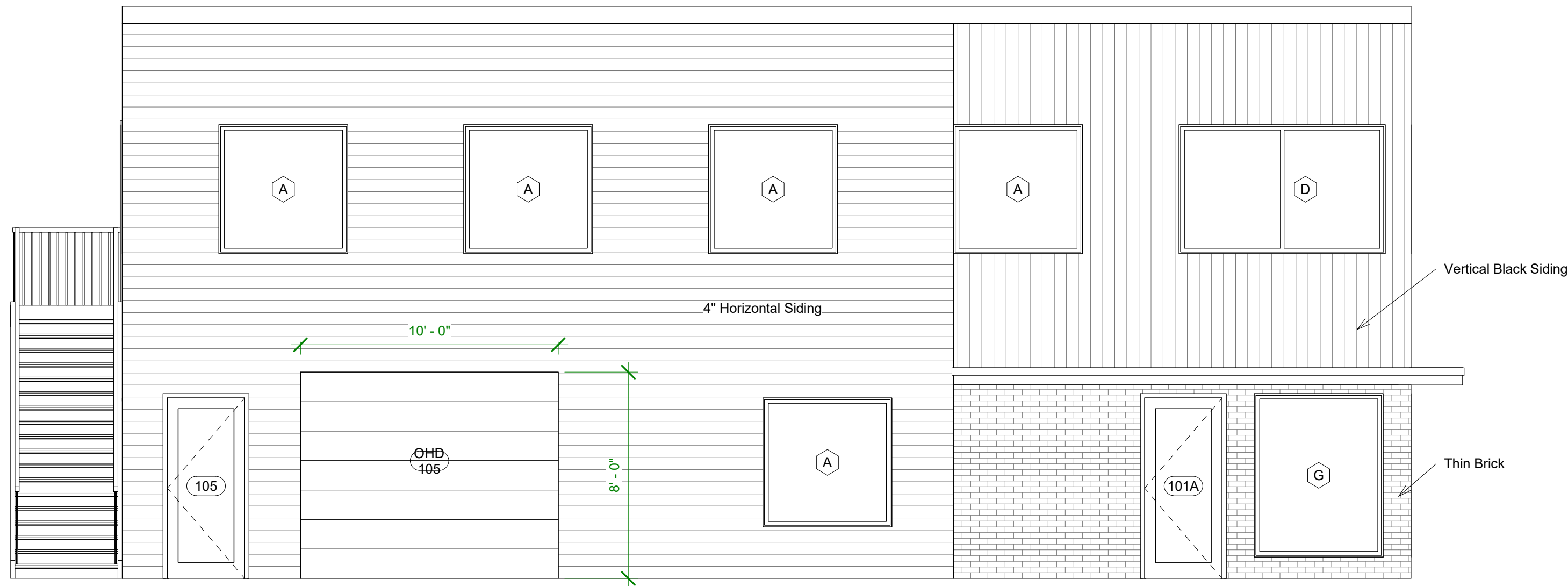
PAGE:
A101

ATTENTION
ANY USE, REPRODUCTION, COPYING, MODIFICATION, OR DERIVATIVE WORK
OF THE PLAN(S) FURNISHED BY DIETRICH CONSTRUCTION IS A VIOLATION OF
THE UNITED STATES FEDERAL COPYRIGHT ACT.

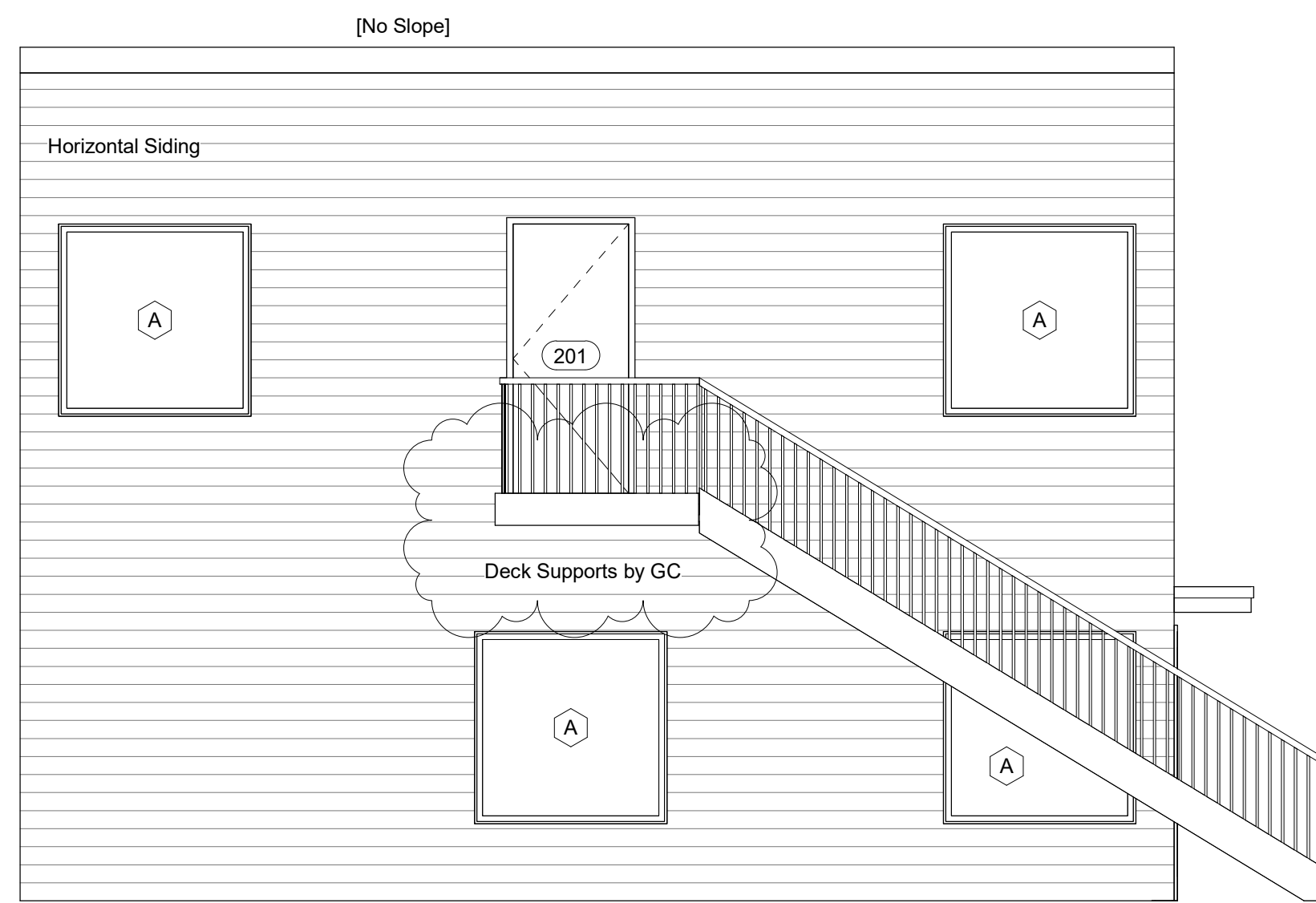
DISCLAIMER OF WARRANTIES
Plans furnished by Dietrich Construction were prepared by draftsmen who are not
qualified as professional architects or engineers. Dietrich Construction expressly
disclaims any and all liability for errors or omissions in the plans. The user
of the plans and is furnished WITHOUT ANY WARRANTY. Responsibility for the usage
of correct structural materials, spans, load bearing, and construction methods are the
responsibility of the builder, owner, or user of these plans.



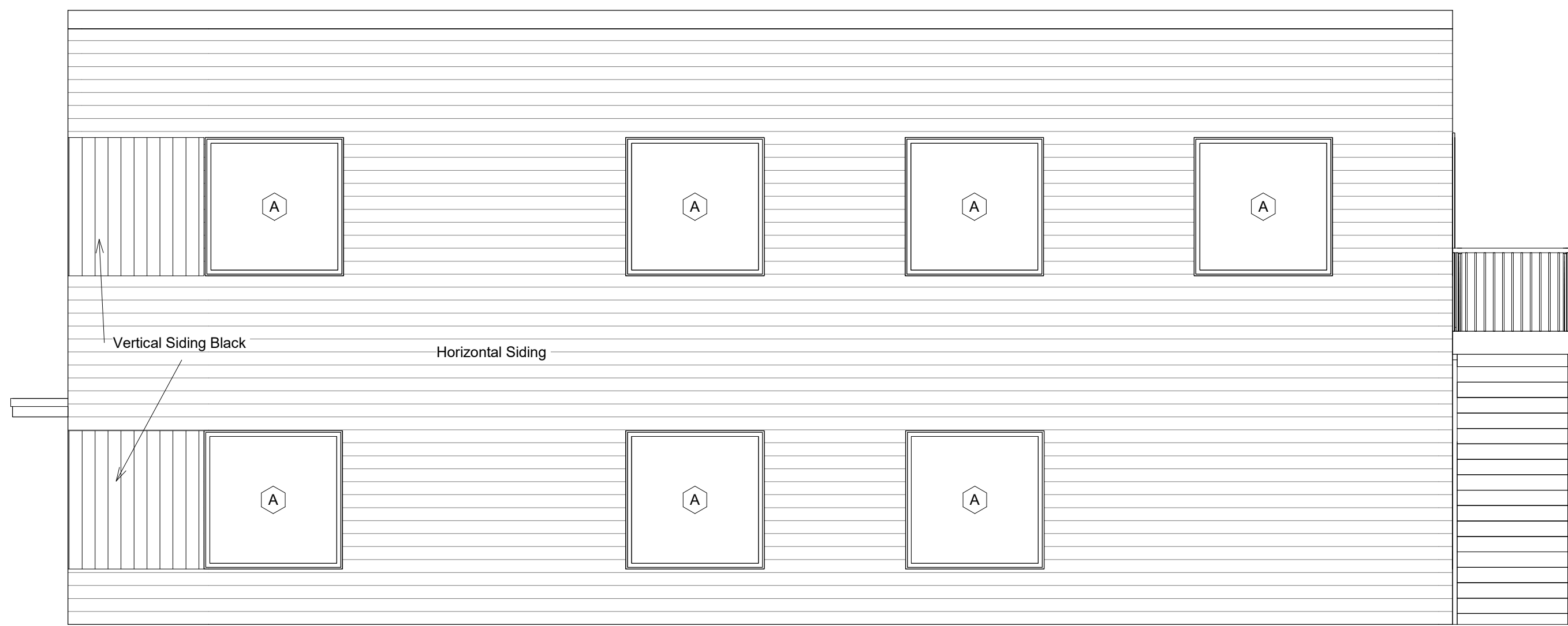
1 North
1/4" = 1'-0"



2 East
1/4" = 1'-0"



3 South
1/4" = 1'-0"



4 West
1/4" = 1'-0"

Project Number	9/21/2021 3:55:08 PM
Author	

CUSTOMER ACCEPTS PLAN AS DRAWN

NAME: _____ DATE: _____

Lot 2

PAGE: **A102**

ATTENTION

ANY USE, REPRODUCTION, COPYING, MODIFICATION, OR DERIVATIVE WORK OF THE PLAN(S) FURNISHED BY DIETRICH CONSTRUCTION IS A VIOLATION OF THE UNITED STATES FEDERAL COPYRIGHT ACT.

DISCLAIMER OF WARRANTIES

Plans furnished by Dietrich Construction were prepared by draftsmen who are not qualified as professional architects or engineers. Dietrich Construction expressly disclaims any and all liability for the use of these plans. Responsibility for the use of correct structural materials, spans, load bearing, and construction methods are the responsibility of the builder, owner, or user of these plans.

STAFF REPORT

A21-20		CONDITIONAL USE PERMIT	
2900 Sheyenne Street			
Lot 2, Block 1 of Eagle Run Plaza 11 th Addition, City of West Fargo, North Dakota			
Applicant/Owner: 25 th Street Investments		Staff Contact: Lisa Sankey	
Planning & Zoning Commission Public Hearing:		06-08-2021 – Tabled; 08-10-2021 Continued; 10-12-2021	
City Commission:			

PURPOSE:

Constructing an off premise sign within the Entertainment Mixed Use District.

STATEMENTS OF FACT:

Land Use Classification:	G-4A Core Retrofit Growth Area
Existing Land Use:	Vacant
Current Zoning District(s):	EMU: Entertainment Mixed Use District
Zoning Overlay District(s):	CO: Corridor Overlay District
Total area size:	1.48 Acres
Adjacent Zoning Districts:	North – C: Light Commercial South – PUD: Planned Unit Development (Commercial) West – C: Light Commercial (Fire Station) & R-2: Limited Multiple Dwellings East – A: Agricultural
Adjacent street(s):	Sheyenne Street (Arterial); 29 th Avenue West (Local Street)
Adjacent Bike/Pedestrian Facilities:	Multi-use path along 32 nd Ave W and Sheyenne St.
Available Parks/Trail Facilities:	Plaza within the development to the south

DISCUSSION AND OBSERVATIONS:

- The applicant has submitted an application, as well as site and elevations of the proposed freestanding sign. The proposed sign is a 48-foot high, 315 ft² video board on the northeast corner of the property.
- EMU: Entertainment Mixed Use District zoning district allows for off-premise signage as a conditional use with the statement that “Signage within the district should take into account the characteristics of its surrounding area and the intent and context of a vibrant entertainment environment. The Commission should deliberate such items as size, intensity of light or color, and motion to avoid nuisance factors to the public and neighboring uses.”
- The definition provided in Section 4-460 of City Ordinances for an “Off-Premise Sign” is as follows: “An advertising sign not related to the premises on which it is located.”
- The property to the south is developed with a multi-tenant mixed building with varying general commercial and residential uses as well as a community plaza.
- The specific conditions for off-premise signs in the EMU District are that:
 - Off-premise signage within the district is allowed as a conditional use following the provisions set forth in Section 4-550 of City Ordinances. Signage within the district should take into

STAFF REPORT

account the characteristics of its surrounding area and the intent and context of a vibrant entertainment environment. The Commission should consider such items as size, intensity of light or color, and motion to avoid nuisance factors to the public and neighboring uses

- o Off-premise signs are allowed in “HC”: Heavy Commercial, “LI”: Light Industrial, “M”: Heavy Industrial, “DMU”: Downtown Mixed Use, and “EMU”: Entertainment Mixed Use Districts. No off- premise sign shall exceed seven hundred fifty (750) square feet in area, unless otherwise approved through the conditional use permit process. No two off-premise signs may be placed less than two hundred fifty (250) feet apart, unless said signs are separated by buildings or other obstructions in such a manner that only one sign is visible from the roadway at any time.

CRITERIA FOR GRANTING CONDITIONAL USE PERMIT:

With reference to the criteria for granting conditional uses, the following is noted:

1. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - No concerns noted.
2. Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare or odor effects of the special exception on adjoining properties and properties generally in the district.
 - No concerns noted.
3. Refuse and service areas, with particular reference to the items in (1) and (2) above.
 - No concerns noted.
4. Utilities, with reference of locations, availability, and compatibility.
 - No concerns noted.
5. Screening and buffering with reference to type, dimensions, and character.
 - No concerns noted.
6. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district.
 - Discretion and discernment should be given by the Commission taking into account scale of the sign against the adjacent properties as well as concerns from neighboring properties notified as well as the general public. A previous application for an off-premise sign in this district took into account light intensity as it was brought up as a concern from nearby residential property owners.
7. Required yards and other open space.
 - No concerns noted.
8. Soil conditions, as they relate to on-site sewage disposal, water supply, basement excavating, road construction and related land use.
 - No concerns noted.
9. General compatibility with adjacent properties and other property in the district.
 - The property is within the Entertainment Mixed Use Zoning District and compatible uses and buildings have been previously approved within the subdivision. Across Sheyenne Street to the east is currently vacant agricultural land and to the north is C: Light Commercial property.

STAFF REPORT

NOTICES:

Sent to:	Property owners within 350' and applicable agencies and departments.
----------	--

Comments Received:	None to date. Awaiting comments from Engineering related to traffic safety.
--------------------	---

CONSISTENCY WITH COMPREHENSIVE PLAN AND OTHER APPLICABLE CITY PLANS AND ORDINANCES:

- Signage of this nature is not specifically addressed in the Comprehensive Plan, but should be considered in context to the approved district. The EMU zoning district notes, in part, that signage within the district should take into account the characteristics of its surrounding area and the intent and context of a vibrant entertainment environment. Staff is of the belief that the proposal should be considered for its scale adjacent to the buildings and the district to which it is in, as well as the surrounding context, including the following items:
 - The property is located within the Core – Retrofit Growth sector, which seeks to provide more walkable and bikeable corridors. The Comprehensive Plan notes that walkability, in part, describes an environment in which people feel comfortable walking. The scale of the sign is intended primarily for vehicular traffic and does not help create a people-oriented environment to encourage walkability. Additionally, the sign is proposed adjacent to a multi-use path.
 - The proposed location of the sign is at the edge of the Entertainment Mixed Use District and also adjacent to smaller scaled buildings and locations where the proposed sign would not be permitted.
 - The property in which the sign is proposed is currently vacant. Therefore, there is no scale of the building in which to compare compatibility of the built environment.
 - Due to the nature of the sign as off-premise advertising, the sign does not compliment or enhance a vibrant entertainment district in which the sign is located.
 - On-premise advertising would be permitted at this location, however the maximum size of the sign would be 150 ft² and have a maximum height of 35' if setbacks were met. The height and size of the proposed sign exceeds maximums of an on-premise sign that would otherwise be permitted at this location.

UPDATE:

The applicant requested that this item be continued at the August 10, 2021 meeting. At the September 14, 2021 meeting, the Planning and Zoning Commission made a motion to continue until the October 12, 2021 meeting.

- The applicant has submitted plans for a smaller, four sided monument style sign in which the portions visible from Sheyenne Street would be 176 square feet total (112 square feet on the front and back of the sign and 64 square feet on the sides). The sign would be a little less than 20' in height.
- A site plan shows placement of the sign at the corner of 29th Avenue West and Sheyenne Street. Signs would not be allowed within an easement.
- Under 4-460.9.2 General Sign Regulations in the EMU District, Multiple tenant signs on a freestanding sign structure may not exceed one hundred fifty (150) square feet, except that if a setback of twenty (20) feet from the street right-of-way in front is provided, the total signage may

STAFF REPORT

be increased to two hundred (200) square feet. With a setback 20 feet it would meet the maximum size for an on premise sign.

- Staff would encourage the Commission to review the Statement of Intent when considering the sign. Specifically, within the Statement of Intent: “New development and redevelopment should be in mixed-use buildings which will create and/or contribute to the overall vibrancy of a district that supports entertainment and employment activity twenty-four hours a day and seven days a week.”

RECOMMENDATIONS:

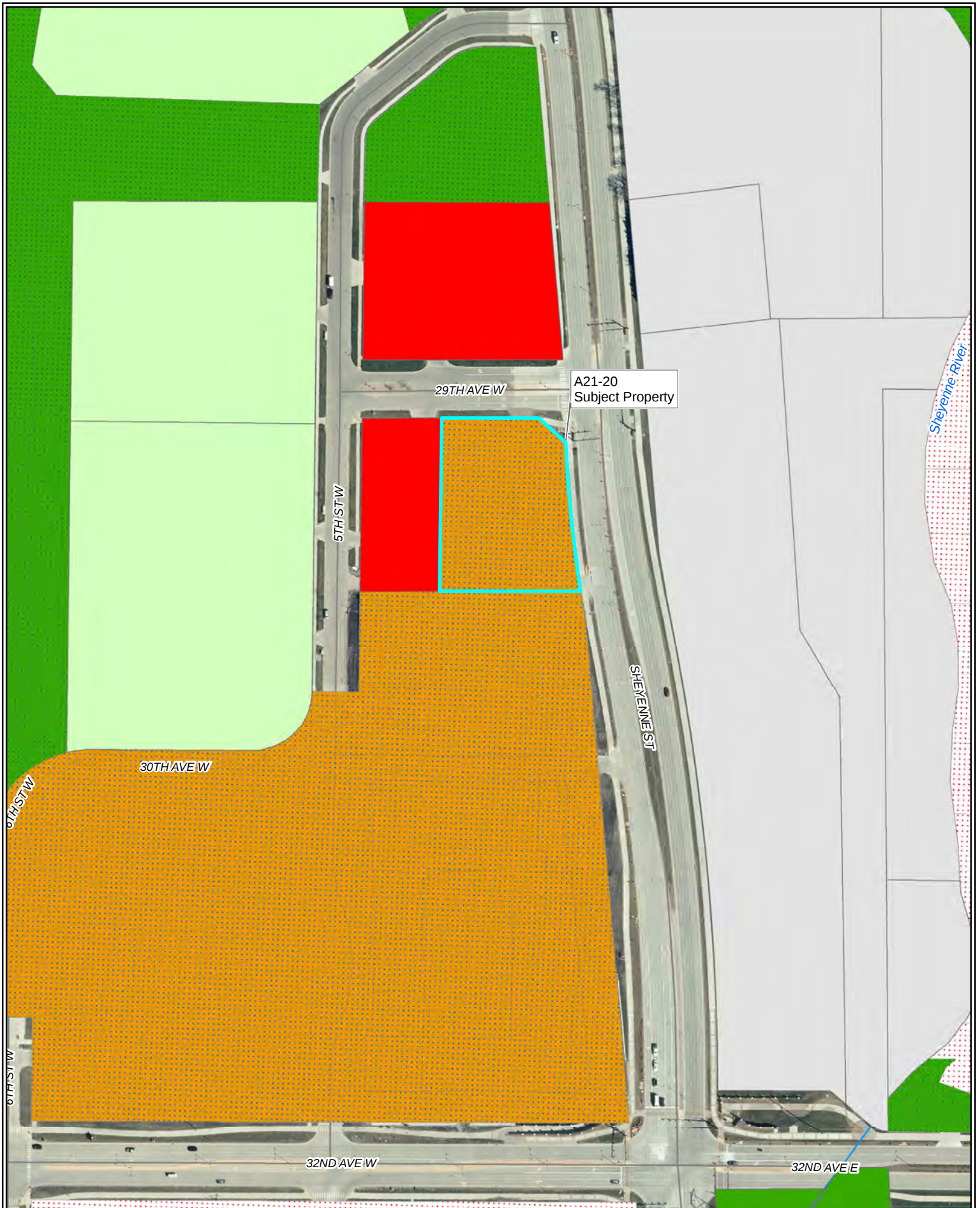
It is recommended that the City reject the proposed application on the basis that it is not consistent with City plans and ordinances.

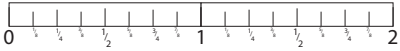
OR

Should the City Planning Commission and City Commission find the proposed application to meet the intent of the Entertainment Mixed Use District and that it is consistent with the characteristics of the surrounding area and the intent and context of a vibrant entertainment environment, then It is recommended that the City approve the proposed revised application for the smaller, monument style sign on the basis that with conditions that it could be considered consistent with City plans and ordinances with recommended conditions of approval as follows:

1. The sign is of similar style as proposed in the revised elevation with a monument style sign on brick base matching the existing building.
2. The sign not exceed the size requirements outlined in Section 4-460.9.2 of City Ordinances.
3. The sign will be brought back for review and possible revocation should adjacent property owners or the users of the adjacent path and roadway bring concerns related to intensity of light or color or motion.
4. A Signed Conditional Use Permit Agreement is received.







The client warrants that the subject matter to be printed is not copyrighted by a third party. The client also recognizes that because subject matter does not have to bear a copyright notice in order to be protected by copyright law, absence of such notice does not necessarily assure a right to reproduce. The client further warrants that no copyright notice has been removed from any material used in preparing the subject matter for reproduction. To support these warranties, the client agrees to indemnify and hold Scenic Sign harmless for all liability, damages and attorney fees that may be incurred in any legal action connected with copyright infringement involving the work production of provided.

ELECTRICAL: THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUND AND BONDING OF THE SIGN.

PLEASE NOTE: ARTWORK NOT READY FOR PRODUCTION!



AFTER - NOT TO SCALE



BEFORE - NOT TO SCALE



